

Your Inspection Report

2238 Edison Avenue
Atlanta, GA 30305

PREPARED FOR:
LEIGH CARTER

INSPECTION DATE:
Wednesday, December 18, 2019

PREPARED BY:
Mark Kinzie



Home-Probe
315 West Ponce de Leon Ave, Suite 559
Decatur, GA 30030

404-218-1040

www.home-probe.com
info@home-probe.com



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report

We're more than great home inspections, we go way beyond that.



December 18, 2019

Dear Leigh Carter,

RE: Report No. 32338
2238 Edison Avenue
Atlanta, GA
30305

Thank you for choosing Home-Probe, Inc. to perform your Home Inspection. We hope the experience continues to exceed your expectations.

THE GOAL:

A home inspection identifies the current condition of the property but cannot predict the future. It is intended to discover MAJOR deficiencies that would change your purchasing decision. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of minor issues. Given the limited time available for a home inspection in the course of a real estate transaction, it could be considered a sampling exercise and a snapshot in time that cannot cover all conditions.

PESTS, termites and rodents are not part of this home inspection. We always recommend consulting a licensed pest control company.

RADON has proven to be an issue in Georgia. We encourage and can provide testing and the EPA recommends all homes be tested in the course of a real estate transaction.

SHARE your experience. We want you to be happy. So much so that we stake our reputation on exceeding your expectations. If there is something we did well or something we can do better, please let us and others know.

SOME water departments in Georgia require certificates confirming the installation of low flow fixtures. If you find yourself in need of these forms please call our office.

WE have a 100 day guarantee in place to protect you in the unlikely event conditions change between now and the time you close on the property.

RELATIONSHIPS- We want to build one with you. Please call us with any questions you may have. For as long as you own your home. Or forever. Whichever is first.

RECALL CHECK - We recommend you search all appliances for a potential recall when you take ownership. We've prepaid for this service

on your behalf and provided you a form for submission.

A home inspection is only an overview of a home in its current condition and cannot be all inclusive. It is designed to mitigate risk and cannot eliminate it altogether.

Please feel free to contact us with questions about the report or the home itself any time. Our telephone and e-mail consulting service is available at no cost to you. Please watch for your follow-up e-mail.

Sincerely,

Mark Kinzie
on behalf of
Home-Probe

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AGREEMENT

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PARTIES TO THE AGREEMENT

Company

Home-Probe
315 West Ponce de Leon Ave,
Suite 559
Decatur, GA 30030

Client

Leigh Carter

This is an agreement between Leigh Carter and Home-Probe.

INSPECTION AUTHORIZATION FORM

This home inspection is performed in accordance with the Standards of Practice of American Society of Home Inspectors, hereinafter referred to as ASHI. www.ashi.org By acceptance of this form and your Home Inspection Report you confirm that you have read and understand these Standards. This is a visual examination of the mechanical and physical components of real property identified in the inspection report as they exist at the time of the inspection through visual means and operation of normal user controls. In some instances, we may exceed the standards discussed above in our inspection process and they should be considered the baseline for the consulting service. We will tell you whether each item we inspect is performing its intended function or is in need of immediate repair. If an item is listed in the report and there are no notes, it is considered to be performing properly. We will explain verbally and in writing what we saw about each item. The home inspector does not necessarily possess licenses authorizing the rendering of detailed opinions regarding any or all of the systems, structures, and components of a building. This is not an Official Georgia Wood Infestation Report relating to termites or any other type of rodents or pests. An evaluation by a specialist in that field will be required to determine if there are issues related to wood destroying organisms or other pests.

Outside the Scope of a Home Inspection:

1. We do not make guarantees, representations or insure the performance or condition of any item after the date and time of this inspection. Please remember that almost every component in any house, except new construction, is in used condition and has ordinary wear and tear.
2. We do not inspect any item which we cannot see in a normal inspection. For example, we do not move furniture, floor or wall coverings, or other furnishings. We do not inspect septic tanks, buried pipes or wiring. We do not dismantle equipment to inspect component parts. We do suggest that you ask the owner about repairs, covered up items or previous problems.
3. We do not inspect for formaldehyde, lead, mold, asbestos or other environmental hazards. If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.
4. The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage or the accumulation of water noted anywhere in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling. If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost. These conditions can form in as little as 24 hours. Green Home Solutions is a reputable environmental company and an Indoor Air Quality Assessment can be obtained from them by calling (770) 629-9188.
5. We do not inspect for building codes, soil analysis, gas leaks, adequacy of design, capacity, efficiency, size, value, flood plain, pollution or habitability. Please remember that older houses do not meet the same standard as newer houses even though items in both might be performing functions for which they are intended.

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- 6. We do not hold ourselves out to be specialists for any particular item. We are a general real estate inspection company. If we report that an item is not performing its intended function or needs repair, we urge you to have that item examined by a specialist before purchasing the property.
- 7. It is important to remember your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.
- 8. Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used or weight is placed on a shower pan that otherwise would not have leaked.

What the Client Must Do:

- 1. If we report that an item is in need of immediate repair or is not performing its intended function and Client intends to purchase the property anyway, it is the client's obligation to have that item and pertaining system examined further by a specialist in that field. Client agrees that issues may be discovered during the repair process that would not be apparent in the inspection process.
- 2. It is agreed by all parties that, to the extent allowed by law, any damages for alleged breach of this contract, negligence or otherwise are limited to the amount of the inspection fee or \$1,000.00 whichever is greater.
- 3. Client agrees and understands that any claim of omission from the report will be reported within 5 days of discovery.
- 4. Client agrees that, with the exception of emergency conditions, we will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.
- 5. Client acknowledges that the inspector has not made any oral representations that differ from or modify what is written in this report.
- 6. Client understands it is strongly encouraged that a final walkthrough of the property be done prior to closing as conditions of a home can and do change from the time of inspection leading up to closing escrow. A walkthrough form can be provided by your Home Inspector.

Cancellation Policy:

We offer a liberal change and cancellation policy. With at least 24 hours of notice, you may reschedule or cancel an appointment at no cost. For cancellations or rescheduling within 24 hours of your appointment time, we will split the cost with you and refund half of your inspection fee.

Client Signature Date: Inspector signature

Property
Address: _____ City: _____ State: _____ Zip: _____

NOTE: THE INSPECTION WHICH RESULTED IN THIS REPORT WAS PERFORMED FOR THE CLIENT NAMED ON THE COVER PAGE OF THE INSPECTION REPORT AND IS NOT TRANSFERABLE TO ANY OTHER PERSON OR ENTITY.

I, Leigh Carter (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

KEY FACTORS

2238 Edison Avenue, Atlanta, GA December 18, 2019

Report No. 32338

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy. When you move into the home you may find some issues not identified in the report. That is to be expected and we suggest you allow roughly 1% of the value of the home annually for this type of maintenance and repair.

It's important to understand and acknowledge that a home with older systems does not mean a poor quality house. Houses are designed to and do last a very long time, but many of the components are consumable. Roofs, heating systems, air conditioning systems and water heaters, for example, wear out and are replaced from time to time.

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • Excessive blistering on shingles. Recommend further evaluation by qualified roofing contractor to determine cause and scope of work to repair / replace shingles if necessary.

Task: Consult with a qualified contractor

Time: Immediate

Cost: Recommend getting estimate

SLOPED ROOF FLASHINGS \ General

Condition: • Cricket needed

Location: Exterior roof at chimney

Task: Provide

Time: Discretionary

Cost: \$2,000 and up

Structure

ROOF FRAMING \ Rafters/trusses

Condition: • Purling Bracing Sagging/Damaged

Location: Attic

Task: Provide additional support

Time: As soon as possible

Cost: \$500 and up

Multiple areas of poor mid-span roof structure support. Sagging or missing supports. A qualified contractor should evaluate to determine scope of work necessary. Notable areas of deflection on exterior roof.

KEY FACTORS

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Cast Iron drain line is present. This is the original equipment of the home, given its age, repair or replacement should be expected.](#) This will be consistent with other homes of this age and in the general area and while this should not be a deterrent it should be a consideration. Inexpensive coverage for the cost of repairing or replacing these lines is available in some areas and recommend researching coverage options for your area.

Task: Prepare for Replacement

Time: Unpredictable

Cost: \$3,000 to \$6,000

Non-Scope

General

- There is evidence to suggest there is or has been rodent activity at the property. While we cannot determine if this is a current or even a recent issue, it is recommended that a pest control or wildlife exclusion company be consulted to determine the steps necessary to be taken for remedy.

Task: Consult with Wildlife or Pest Exclusion Company

Time: As Soon As Possible

Cost: \$1,000 and Up

Location: Attic

- There are existing termite "tubes" or "tunnels". When a termite treatment has been done, it is customary to remove these. Although this is outside the scope of a home inspection, their presence suggests there may be current and ongoing termite activity. Consult with a pest control company as soon as possible.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

Un-planned repairs or replacements are never welcome, but are part of the 'joy of home ownership'. We encourage you to set up maintenance programs to protect your investment, reduce costs, improve comfort and efficiency, and extend life expectancy. The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

ROOFING

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Observations and Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Excessive blistering on shingles. Recommend further evaluation by qualified roofing contractor to determine cause and scope of work to repair / replace shingles if necessary.

Task: Consult with a qualified contractor

Time: Immediate

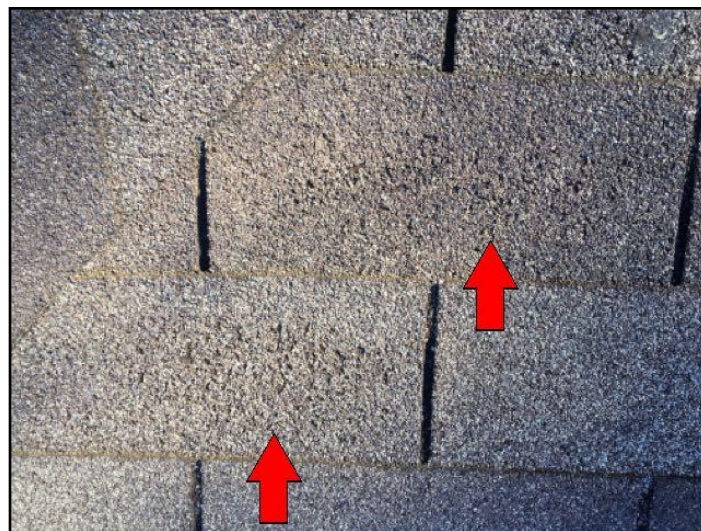
Cost: Recommend getting estimate



1. Blistering shingles



2. Blistering shingles



3. Blistering shingles

SLOPED ROOF FLASHINGS \ General

2. Condition: • Cricket needed

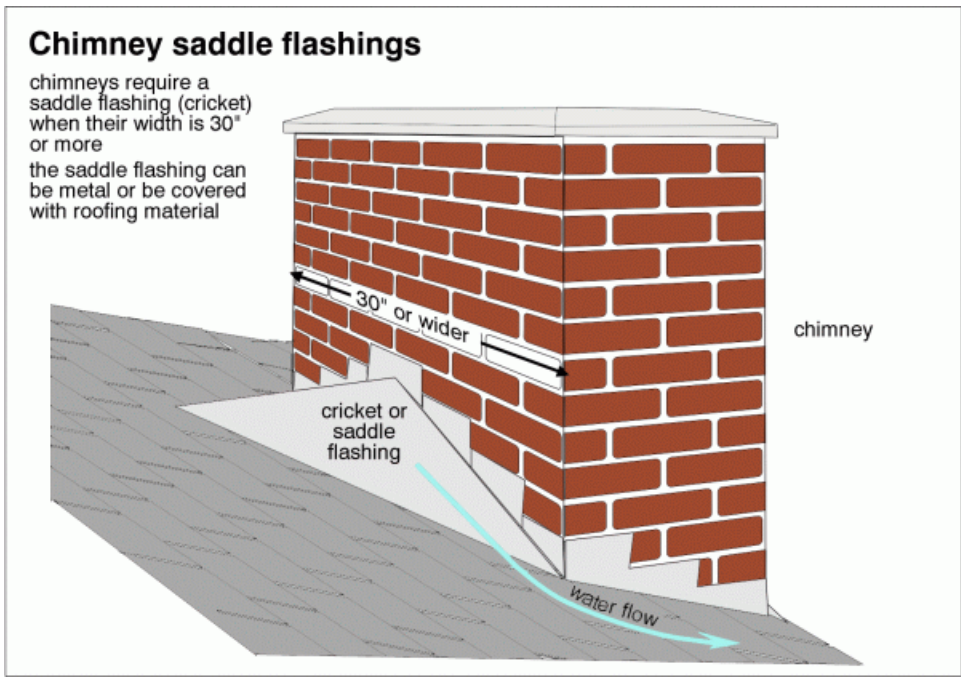
Location: Exterior roof at chimney

Task: Provide

Time: Discretionary

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Cost: \$2,000 and up



4. Cricket needed Location: Exterior roof at...

Description

General: • Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when it is safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

Sloped roofing material:

- [Asphalt shingles](#)

ROOFING

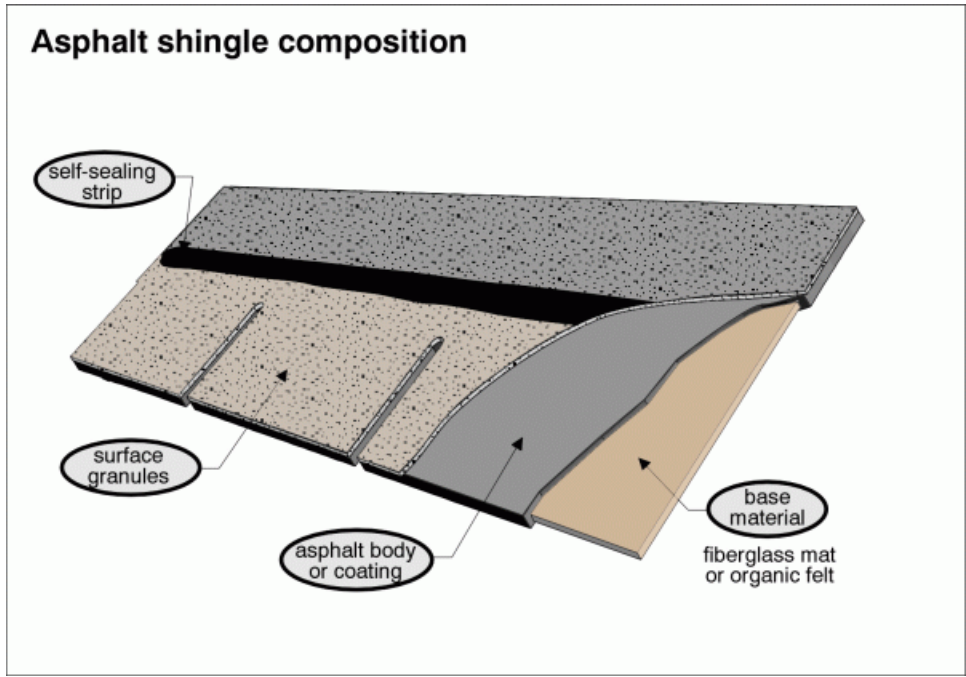
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Asphalt shingle composition



5. Asphalt shingles



6. Asphalt shingles

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7. Asphalt shingles



8. Asphalt shingles

Approximate age: • 5-10 years

Typical life expectancy: • 15-20 years

Inspection Methods and Limitations

Inspection performed: • By walking on roof

Age determined by:

- Visual inspection from roof surface



9. Visual inspection from roof surface

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

ROOF DRAINAGE \ Gutters and Downspouts

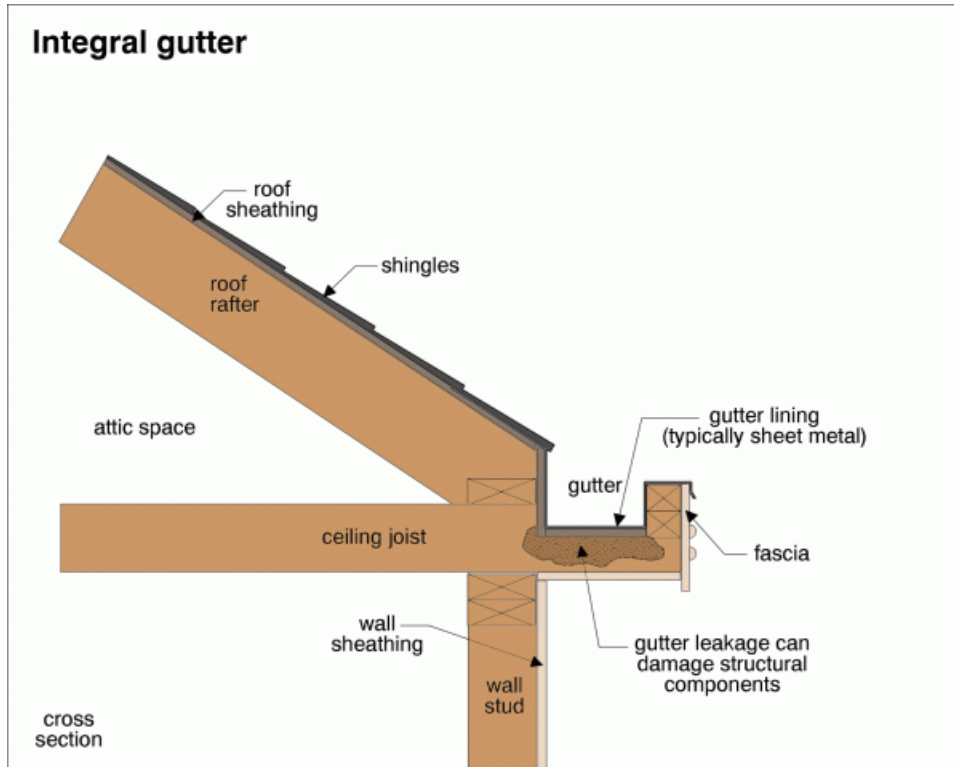
3. Condition: • Clogged

Location: Throughout Exterior

Task: Clean

Time: As Soon As Possible

Cost: Regular Maintenance Item



EXTERIOR

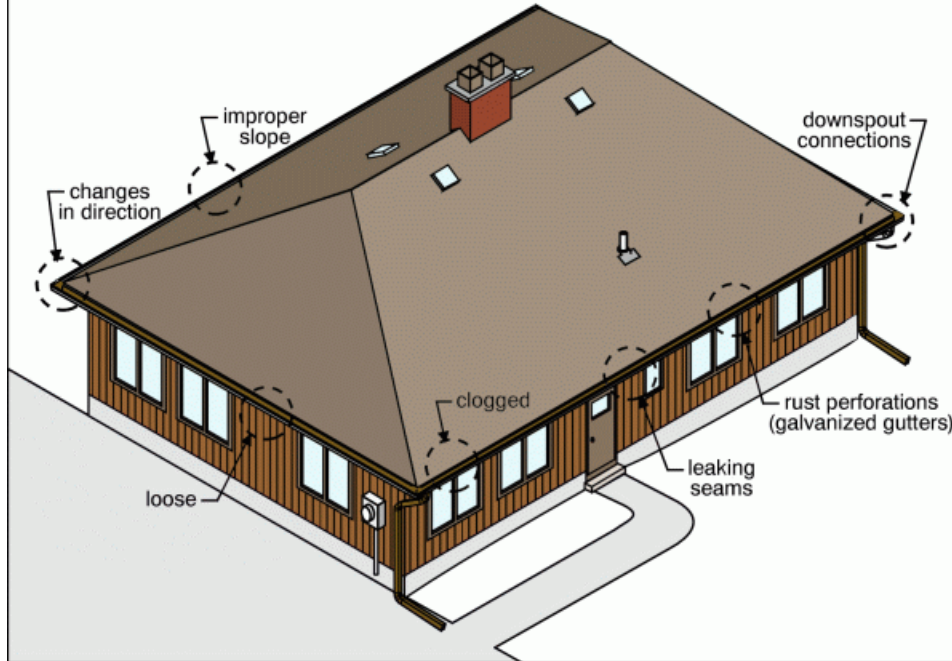
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Gutters - common reasons for leakage



10. Clogged Location: Throughout...

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

4. Condition: • Loose/Missing pieces

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Task: Reinstall pieces where necessary

Time: As soon as possible

Cost: Minor



11. Loose/Missing pieces Task: Reinstall piece...

WALLS \ Siding and trim

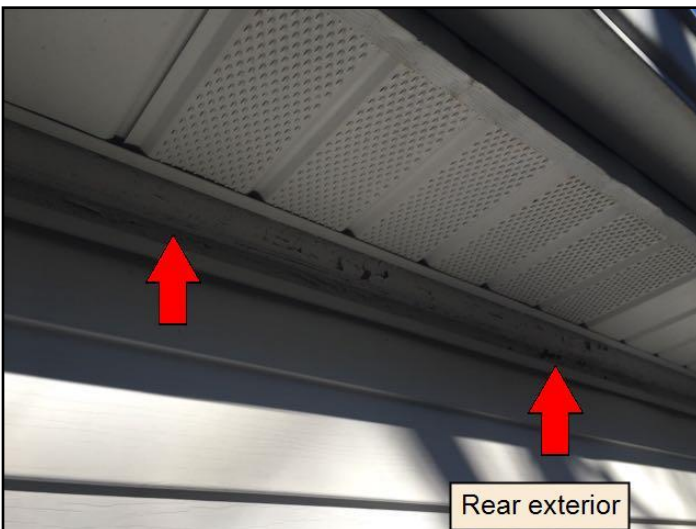
5. Condition: • Paint or stain needed

Task: Provide

Time: As soon as possible

Cost: As a general rule, painting is about \$1,000 per side. Spot repairs may be less and it is unlikely the paint will match.

Wood trim throughout exterior



12. Paint or stain needed Task: Provide Time: A...



13. Paint or stain needed Task: Provide Time: A...

EXTERIOR

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14. Paint or stain needed Task: Provide Time: A...

6. Condition: • Vent cover damaged/missing

Location: Exterior

Task: Repair or replace

Time: Immediate

Cost: Minor



15. Vent cover damaged/missing Location:...

WINDOWS AND DOORS \ General

7. Condition: • Damage

EXTERIOR

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Task: Repair or replace
Time: As soon as possible



16. Damage Task: Repair or replace Time: As...

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

8. Condition: • Wood/soil contact

Task: Correct

Time: As soon as possible

Cost: Minor

Recommend excavating 6 to 8 inches away from the wood and replace with gravel or like material for drainage.



17. Wood/soil contact Task: Correct Time: As...

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9. Condition: • [Weak/inadequate connections](#)

Task: Improve

Time: Immediate

Cost: Minor

Intersections should be attached with bolts or brackets designed specifically for this application and a qualified contractor familiar with Georgia Prescriptive Deck Details



18. Weak/inadequate connections Task:...

LANDSCAPING \ General

10. Condition: • Trees or Shrubs too close to building

Task: Remove

Time: As Soon As Possible

Cost: Regular Maintenance Item

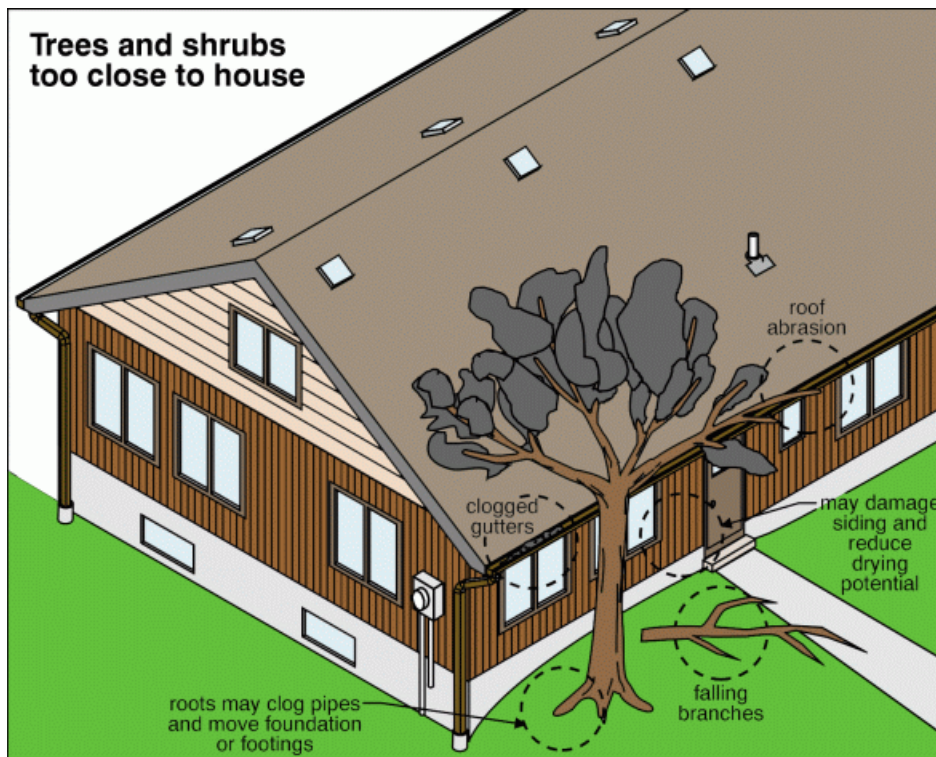
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19. Trees or Shrubs too close to building Task...

11. Condition: • Cracked or Damaged Surfaces

Task: Repair as Needed/Be Advised

Time: Discretionary

Cost: \$5 to \$7 per square foot to pour concrete

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20. Cracked or Damaged Surfaces Task: Repair a...

LANDSCAPING \ Fence

12. Condition: • Damage

Rot at driveway gate

Task: Repair

Time: Discretionary

Cost: Minor



21. Damage

EXTERIOR

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Gutter & downspout material: • [Aluminum](#)

Downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#) • [Vinyl](#)

Wall surfaces and trim: • [Vinyl siding](#) • [Brick](#) • [Wood](#) • [Shingles](#)

Retaining wall: • [Masonry](#)

Driveway: • Concrete

Deck: • Raised • Wood

Exterior steps: • Concrete • Wood

Inspection Methods and Limitations

Exterior inspected from: • Ground level

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

FLOORS \ Columns or piers

13. Condition: • Temporary Supports

Task: Repair as needed

Time: Discretionary

Although there are no issues with the temporary or supplemental supports installed in the crawlspace, this is usually done in response to some type of movement or settling and as a temporary corrective measure. Although there were no issues noted that were a concern at the time of inspection, it is recommended that a qualified contractor install more permanent supports that are properly secured at the top and bottom.



22. Temporary Supports Task: Repair as...

14. Condition: • Mortar deterioration

Task: Repair as needed

Time: As soon as possible

Cost: Recommend getting estimate

Location: Front Crawl Space

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23. Mortar deterioration Task: Repair as...

15. Condition: • Poorly secured at top or bottom

Task: Improve/secure

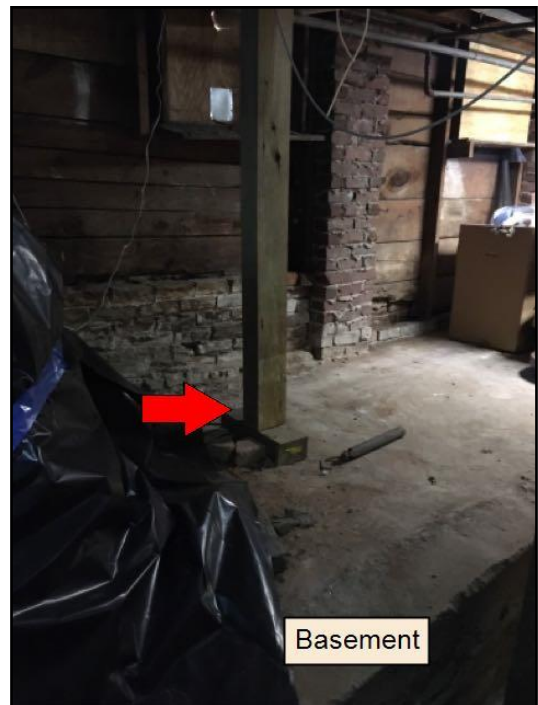
Time: As soon as possible

Cost: Minor

Location: Throughout basement



24. Poorly secured at top or bottom Task:...



25. Poorly secured at top or bottom Task:...

STRUCTURE

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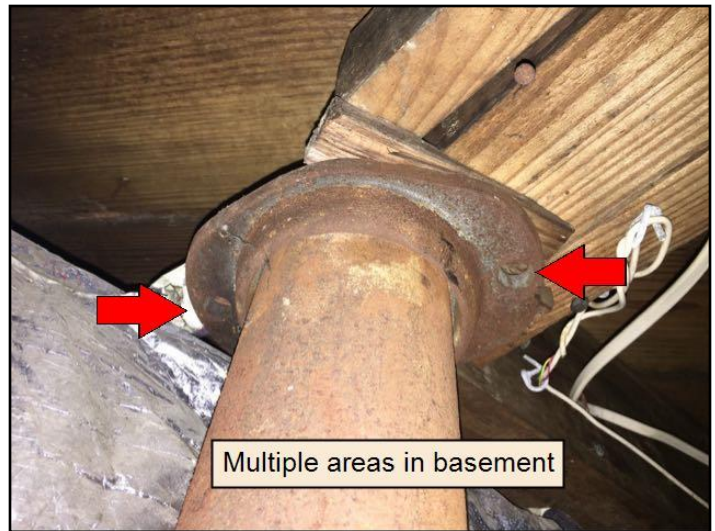
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26. Poorly secured at top or bottom Task:...



27. Poorly secured at top or bottom Task:...



28. Poorly secured at top or bottom Task:...



29. Poorly secured at top or bottom Task:...

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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30. Poorly secured at top or bottom Task:...

FLOORS \ Joists

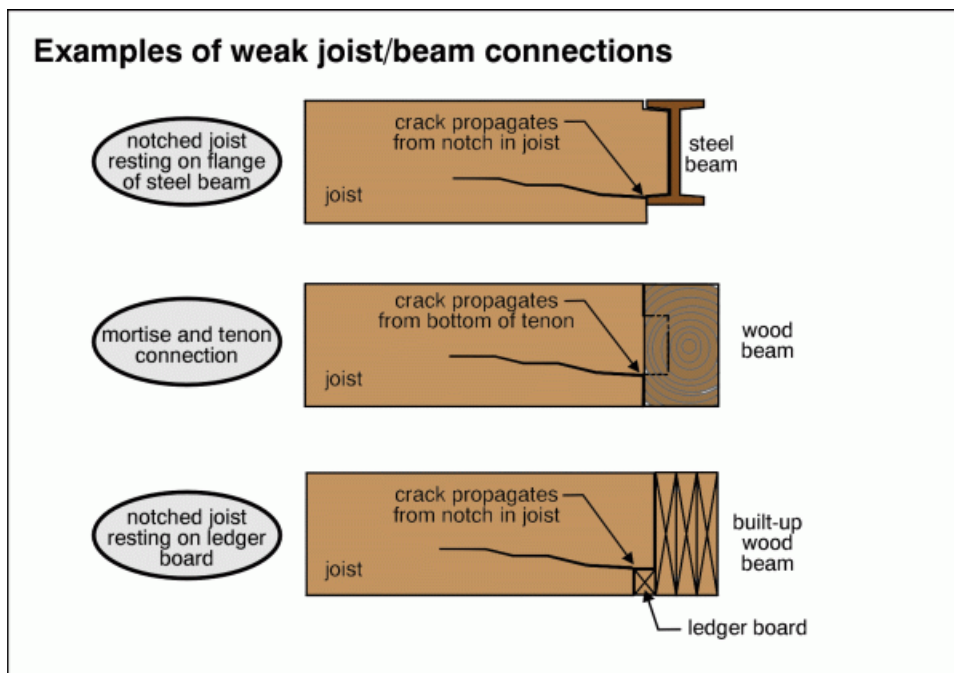
16. Condition: • [Poor end bearing, joist hanger connections](#)

Ends of joists shall have not less than 1.5 inches of bearing on wood.

Task: Improve

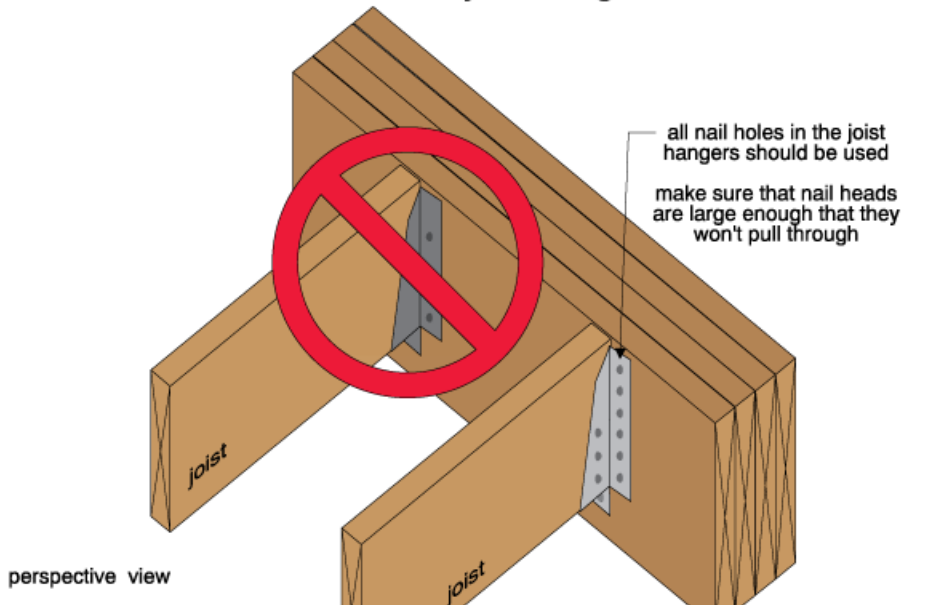
Time: Immediate

Cost: Minor

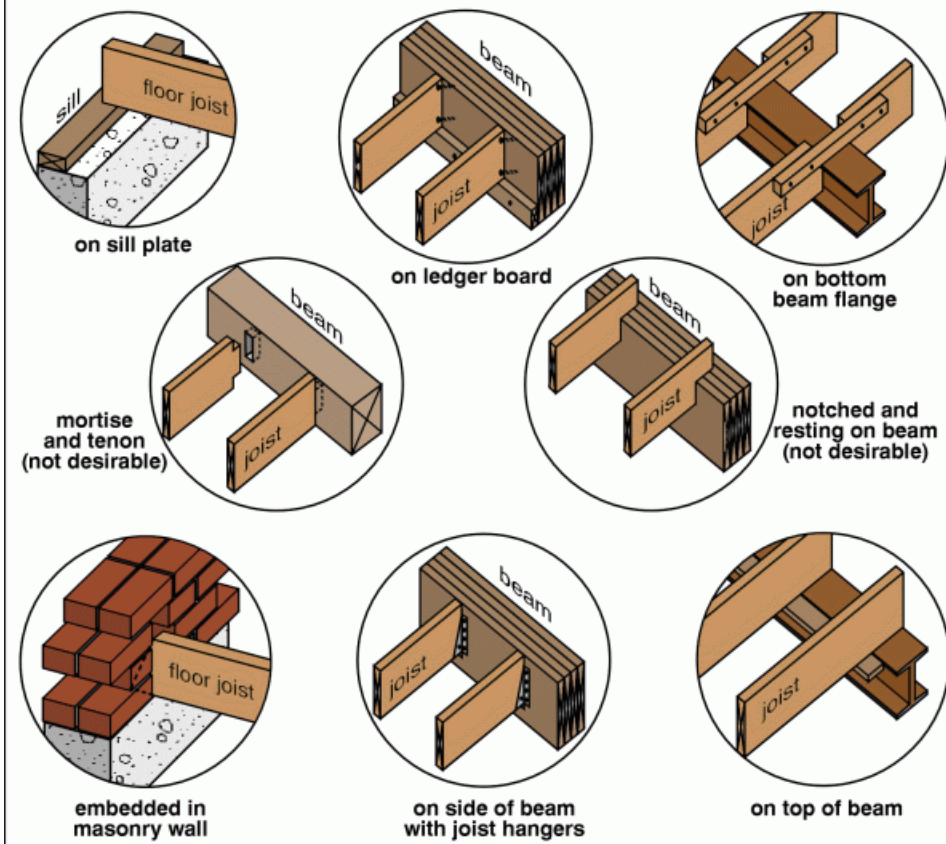


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Watch for insufficient nails in joist hangers



Different types of joist end support



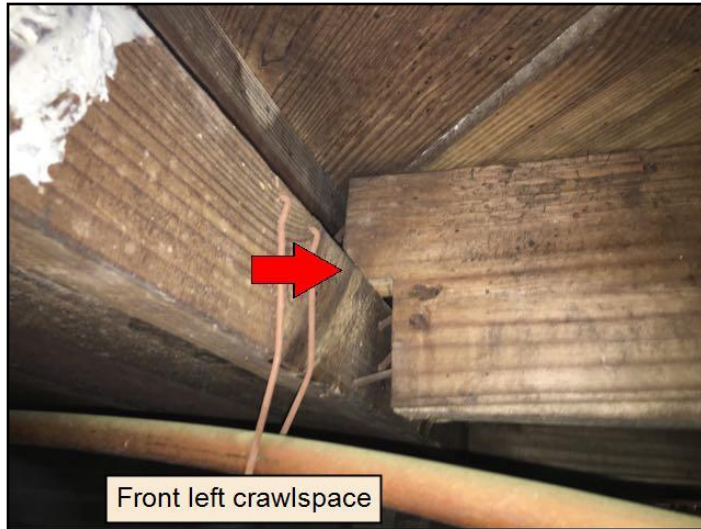
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31. Poor end bearing, joist hanger connections

WALLS \ Wood frame walls

17. Condition: • [Insect damage](#)

Task: Repair

Time: As Soon As Possible

Cost: Minor



32. Insect damage



33. Insect damage

ROOF FRAMING \ Rafters/trusses

18. Condition: • Purling Bracing Sagging/Damaged

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Location: Attic

Task: Provide additional support

Time: As soon as possible

Cost: \$500 and up

Multiple areas of poor mid-span roof structure support. Sagging or missing supports. A qualified contractor should evaluate to determine scope of work necessary. Notable areas of deflection on exterior roof.



34. Purling Bracing Sagging/Damaged Location:...



35. Purling Bracing Sagging/Damaged Location:...



36. Purling Bracing Sagging/Damaged Location:...



37. Purling Bracing Sagging/Damaged Location:...

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38. Deflection or uneven roof sheathing

19. Condition: • [Weak connections](#)

There is no ridge joist present, which may have been considered common practice when home was built. Some roof joint connections at the ridge are inadequate or poorly secured.

Task: Improve

Time: As Soon As Possible

Cost: Minor



39. Weak connections

STRUCTURE

2238 Edison Avenue, Atlanta, GA December 18, 2019

Report No. 32338

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

20. Condition: • [Split](#)

Task: Repair

Time: Immediate

Cost: Minor



40. Split



41. Split

21. Condition: • [Rot](#)

Location: Front Attic

Task: Repair

Time: As Soon As Possible

Cost: Depends on approach



42. Rot



43. Rot

ROOF FRAMING \ Sheathing

22. Condition: • [Water stains](#)

Water stains on roof sheathing. Dry at inspection. These should be monitored or evaluated by a qualified roofing contractor to ensure that

STRUCTURE

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they are not active.

Task: Be Advised



44. Water stains



45. Water stains

Description

General: • Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing.

Configuration: • [Basement](#) • [Crawlspace](#)

Foundation material: • [Brick](#)

Floor construction: • [Joists](#) • Steel columns • Wood columns • Masonry columns • Wood beams • Engineered wood beams

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Ceiling Joists • Roof Joists • [Plank sheathing](#)

Inspection Methods and Limitations

Inspection limited/prevented by: • We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

Percent of foundation not visible: • 0 %

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

SERVICE BOX, GROUNDING AND PANEL \ System grounding

23. Condition: • Not visible

Task: Locate or provide ground

Time: Immediate

Cost: Depends on work needed if any

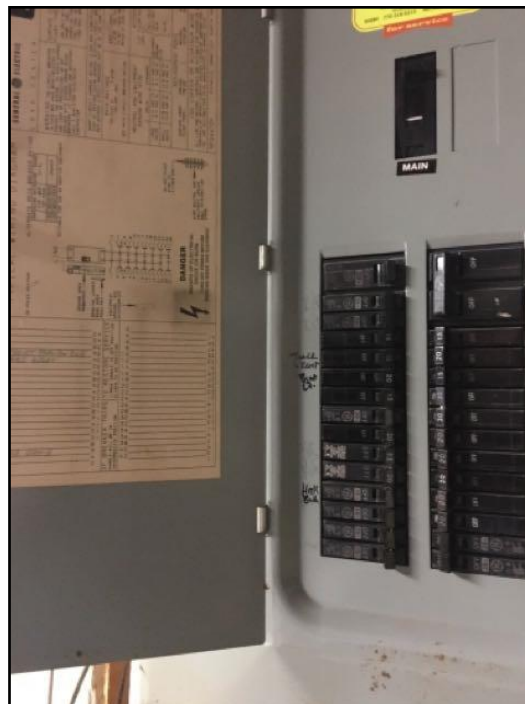
SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

24. Condition: • Circuits Not Labeled

Task: Improve

Time: Discretionary

Cost: Minor



46. Circuits Not Labeled Task: Improve Time:...

DISTRIBUTION SYSTEM \ Junction boxes

25. Condition: • Cover loose or missing

Task: Correct

Time: Immediate

Cost: Minor

Cooling system condenser unit disconnect missing interior cover panel

Location: Right Side Exterior

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



47. Cover loose or missing Task: Correct Time...

DISTRIBUTION SYSTEM \ Outlets (receptacles)

26. Condition: • [Inoperative](#)

GFCI's will not reset

Task: Repair or replace

Time: Immediate

Cost: Minor



48. Inoperative



49. Inoperative

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

DISTRIBUTION SYSTEM \ Lights

27. Condition: • Inoperative

Task: Repair

Time: Immediate

Cost: Minor

This is most likely blown bulbs and recommend confirming operation from the seller.



50. Inoperative Task: Repair Time:...



51. Inoperative Task: Repair Time:...

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

28. Condition: • Missing

Location: Throughout Interior

Task: Provide

Time: Immediate

Cost: Less Than \$50 apiece

Description

General: • Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and overcurrent protection. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted. As a general rule, your inspector will not test the smoke detectors in the home. Their presence or absence will be noted and it is recommended that they be tested at least monthly for proper operation. Those that are older than 10 years should be replaced.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Service entrance cable and location: • [Overhead aluminum](#)

Service size: • [150 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

- [Breakers - basement](#)



52. Breakers - basement

System grounding material and type: • [Not visible](#)

Distribution panel type and location:

- [Breakers - basement](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



53. Breakers - basement

Distribution panel rating: • [150 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [GFCI - kitchen](#) • No AFCI

Smoke alarms (detectors): • None noted

Carbon monoxide (CO) alarms (detectors):

- Present
- Basement

Inspection Methods and Limitations

Panel covers: • Panel covers are removed to inspect internal components unless otherwise noted in this report.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

CHIMNEY AND VENT \ Masonry chimney

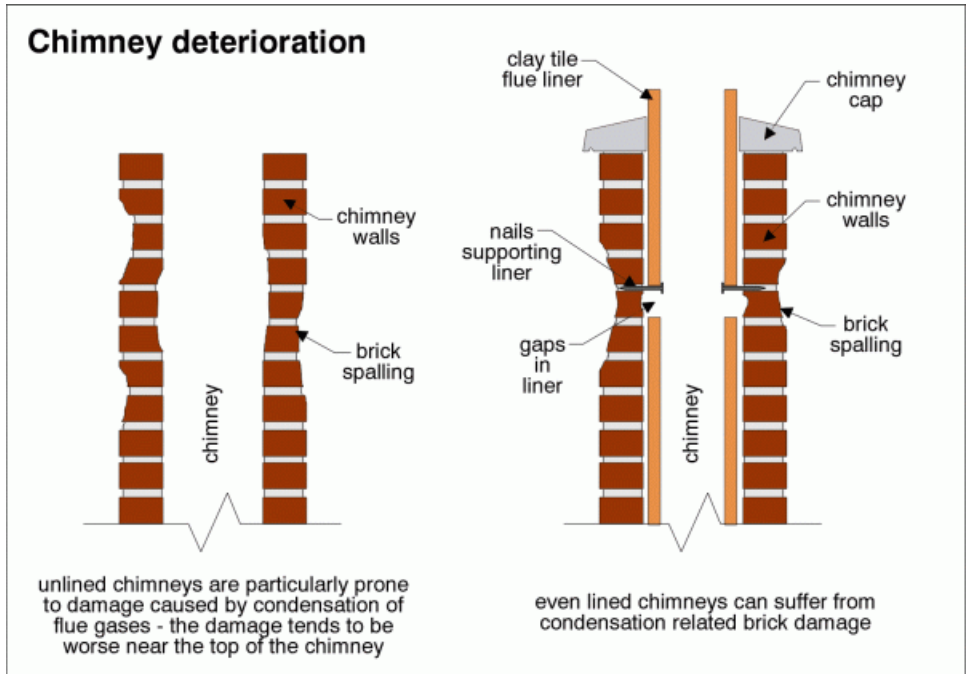
29. Condition: • [Loose, missing or deteriorated masonry](#)

Location: Roof

Task: Repair

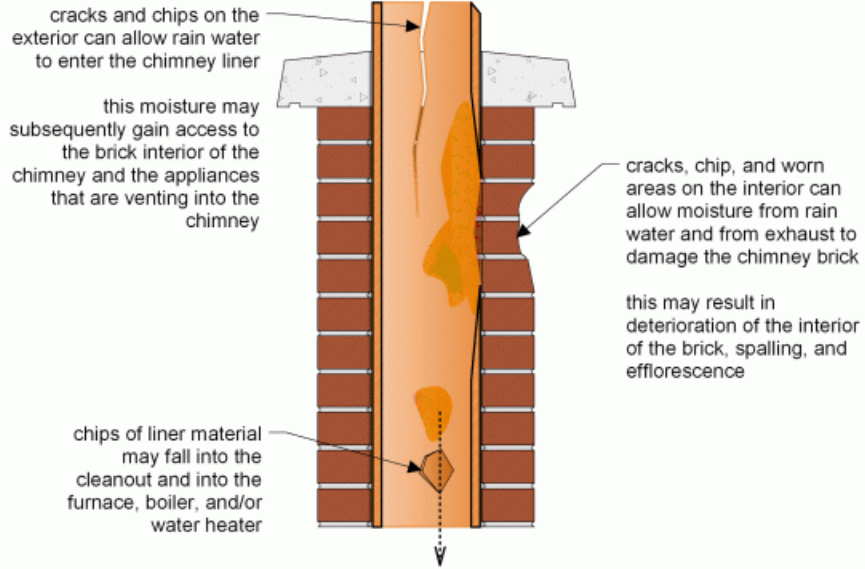
Time: Immediate

Cost: Recommend getting estimate



KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Deteriorated clay chimney liner



54. Loose, missing or deteriorated masonry

HEATING

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General: • Our inspection of the heating and cooling system included a visual examination of the systems major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Unless otherwise noted in this report this is considered to be a forced air system.

System type: • Forced Air

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Forced draft](#)

Approximate age: • [3 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Outside at the Meter

Main fuel shut off at: • Basement

Supply temperature: • 115°

Air filter:

• 16" x 25"



55. 16" x 25"

HEATING

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KEY FACTOR

ROOFING

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NON-SCOPE

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REFERENCE

Exhaust pipe (vent connector): • PVC plastic

Fireplace/stove: • Decorative only • Non-functional

Inspection Methods and Limitations

General: • Interior of the ductwork is not inspected as part of this inspection.

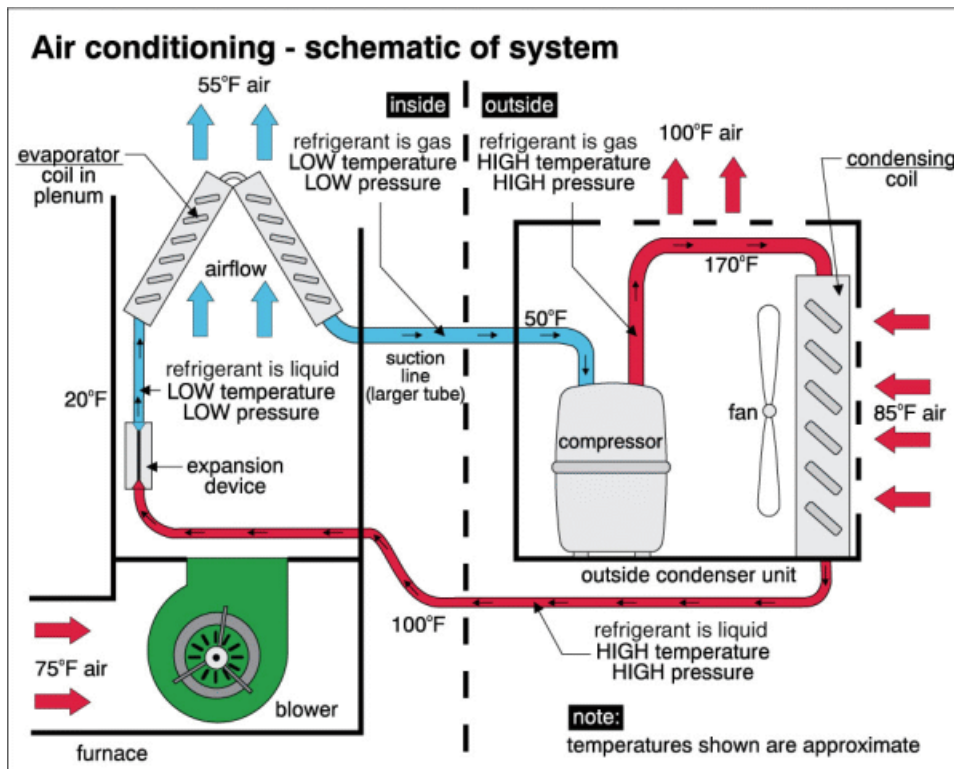
KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Description

General: • Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include a load calculation test or a flow rating test, therefore the capacity of the system is not evaluated for adequacy. Ceiling fans are not typically inspected as they are not within the scope of the inspection. Unless otherwise noted in the report, this is considered to be a split system.

Air conditioning type:

- [Air cooled](#)



COOLING & HEAT PUMP

2238 Edison Avenue, Atlanta, GA December 18, 2019

Report No. 32338

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

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COOLING

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PLUMBING

INTERIOR

NON-SCOPE

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REFERENCE



56. Air cooled

Cooling capacity: • 3 Tons

Compressor approximate age: • 3 years

Typical life expectancy: • 10 to 15 years

Refrigerant type: • [R-410A](#)

Inspection Methods and Limitations

Inspection limited/prevented by: • The AC system is not operated when the outside temperature is below 50 degrees. The belief is that the refrigerant in the compressor can turn to a liquid at low temperature and cause what is known as 'slugging'. This system could not be turned on at the time of the inspection unfortunately. We suggest you either contact our office to request a reinspection at a time when you know the temperature will be above 50 degrees. Alternatively, you may consider consulting with an HVAC technician that will have the expertise and specialized equipment to test this appliance in colder temperatures.

INSULATION AND VENTILATION

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KEY FACTOR

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Observations and Recommendations

ATTIC/ROOF \ Insulation

30. Condition: • Inadequate Ventilation

Task: Improve as needed

Time: As soon as possible

Cost: Adding vents can be as much as \$150 to \$300 per location needed.

There should be at least 1 Square foot of ventilation per 300 Square Feet of attic space. Ventilation should be installed if needed and any blocked vents should be cleared.

Soffit vents appear to have been painted over in some areas. Blistering noted on roof shingles.

31. Condition: • [Amount inadequate](#)

Location: Attic

Task: Improve Upgrade

Time: As Soon As Possible

Cost: \$1,000 - and up



57. Amount inadequate

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • Amount Inadequate

Attic/roof ventilation: • [Soffit vent](#) • [Ridge vent](#)

Floor above basement/crawlspace insulation material: • Not Present

Floor above basement/crawlspace air/vapor barrier: • Plastic

Crawlspace ventilation: • [Wall Vents](#) • [Into basement](#)

INSULATION AND VENTILATION

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KEY FACTOR

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Inspection Methods and Limitations

Attic inspection performed: • By entering Attic

Crawlspace inspection performed: • By entering crawlspace

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

SUPPLY PLUMBING \ Water supply piping in building

32. Condition: • Not Protected From Freezing

Task: Insulate Water Lines

Time: Prior to Cold Weather Season

Cost: Minor

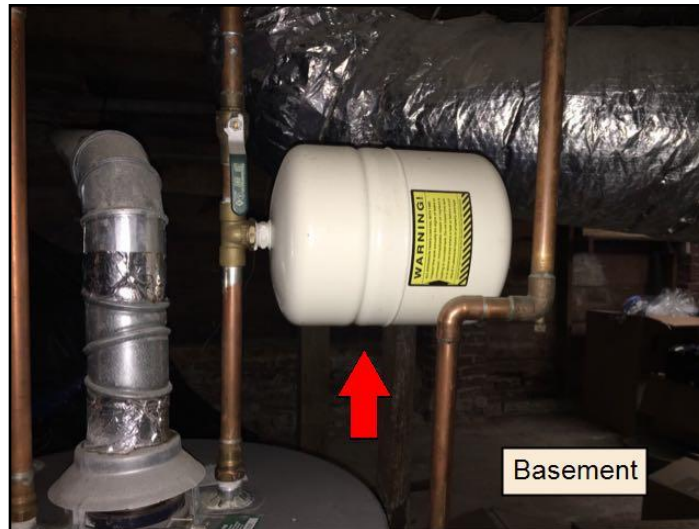
Location: Throughout Basement

33. Condition: • Poor Support

Task: Provide Support

Time: Immediate

Cost: Minor



58. Poor Support Task: Provide Support Time:...

WATER HEATER - GAS BURNER AND VENTING \ Venting system

34. Condition: • Tape not heat rated

Task: Remove or replace with approved material

Time: Immediate

Cost: Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



59. Tape not heat rated Task: Remove or replac...

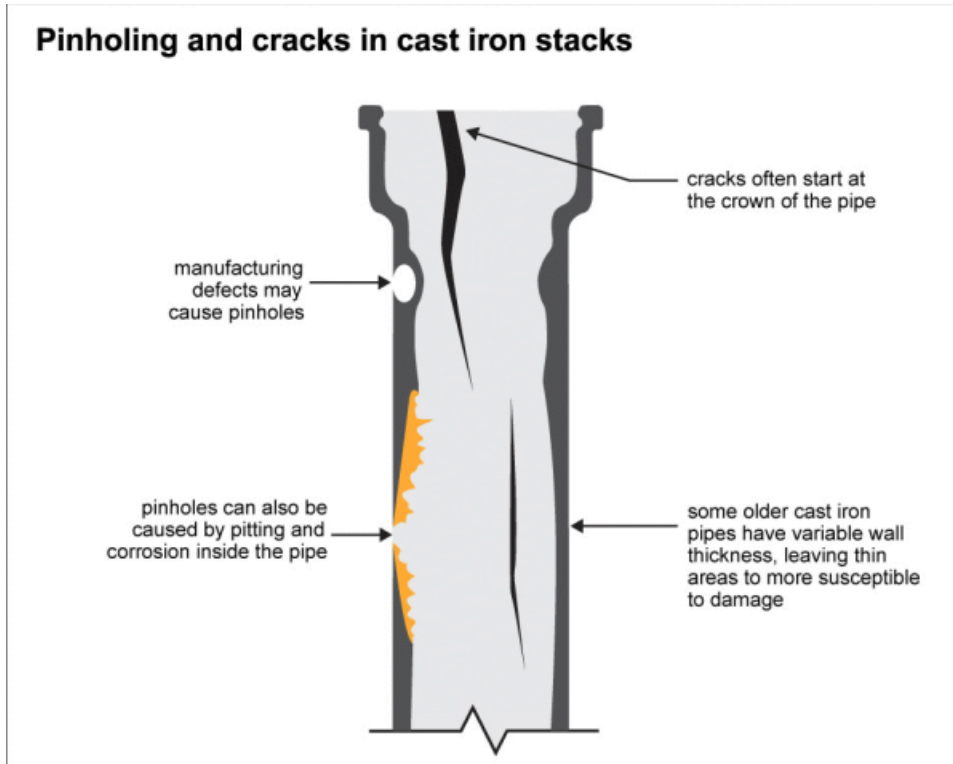
WASTE PLUMBING \ Drain piping - performance

35. Condition: • [Cast Iron drain line is present. This is the original equipment of the home, given its age, repair or replacement should be expected.](#) This will be consistent with other homes of this age and in the general area and while this should not be a deterrent it should be a consideration. Inexpensive coverage for the cost of repairing or replacing these lines is available in some areas and recommend researching coverage options for your area.

Task: Prepare for Replacement

Time: Unpredictable

Cost: \$3,000 to \$6,000



KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



60. Cast Iron drain line is present. This is th...

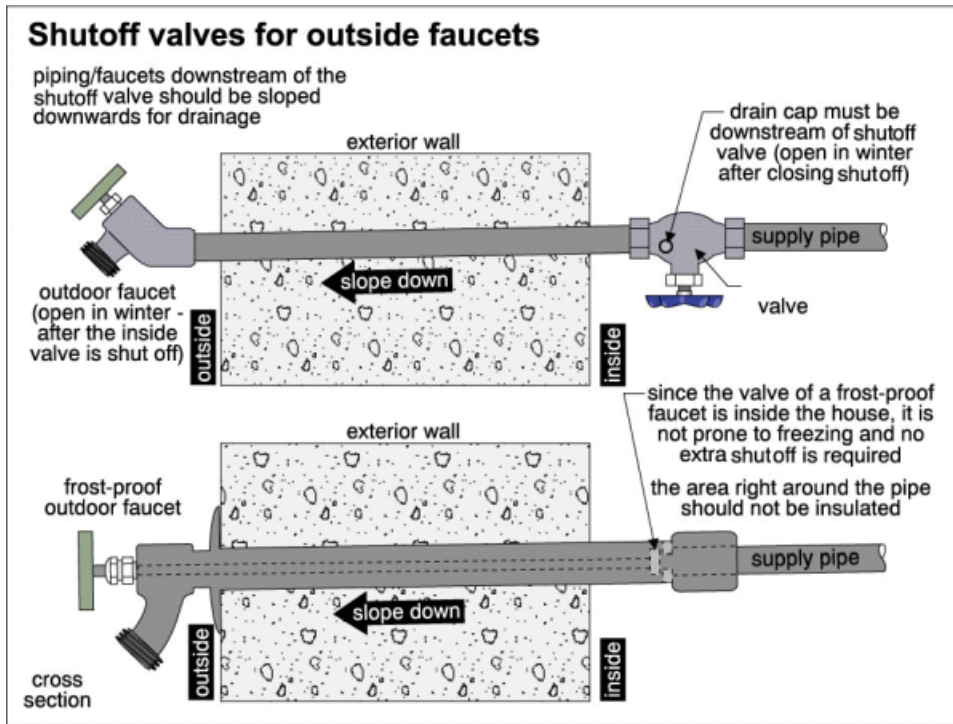
FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

36. Condition: • [Loose](#)

Task: Secure

Time: Immediate

Cost: Minor



PLUMBING

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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61. Loose

FIXTURES AND FAUCETS \ Faucet

37. Condition: • Drip/Leak

Task: Repair

Time: Immediate

Cost: Minor/Regular Maintenance Item



62. Drip/Leak Task: Repair Time:...

38. Condition: • Loose

Task: Secure

PLUMBING

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Time: Immediate

Cost: Minor/Regular Maintenance Item



63. Loose Task: Secure Time: Immediate Cost:...

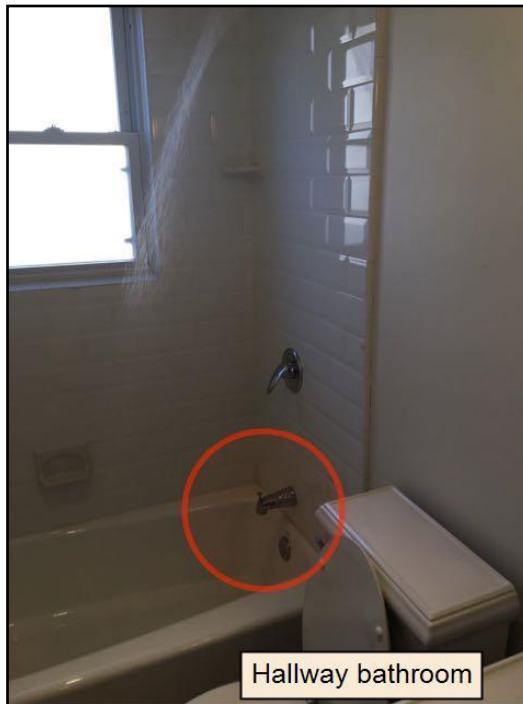
39. Condition: • Spout Diverter Defective

Task: Replace

Time: As Soon As Possible

Cost: Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



64. Spout Diverter Defective Task:...

FIXTURES AND FAUCETS \ Shower stall

40. Condition: • Caulking/Grout missing and or deteriorated

Task: Improve

Time: Discretionary

Cost: Regular maintenance item



65. Caulking/Grout missing and or...

FIXTURES AND FAUCETS \ Whirlpool bath (Hydro-Massage Therapy Equipment)

41. Condition: • [Dirty water from the jets](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Task: Clean
Time: Prior To Use
Cost: Regular maintenance item



66. Dirty water from the jets

FIXTURES AND FAUCETS \ Whirlpool bath (Hydro-Massage Therapy Equipment) pump

42. Condition: • [No pump access](#)

Task: Be Advised



67. No pump access

Description

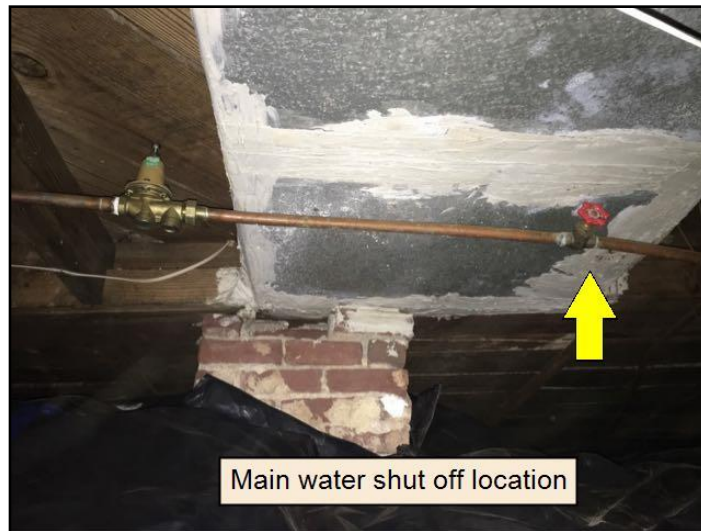
General: • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement



68. Front of the basement

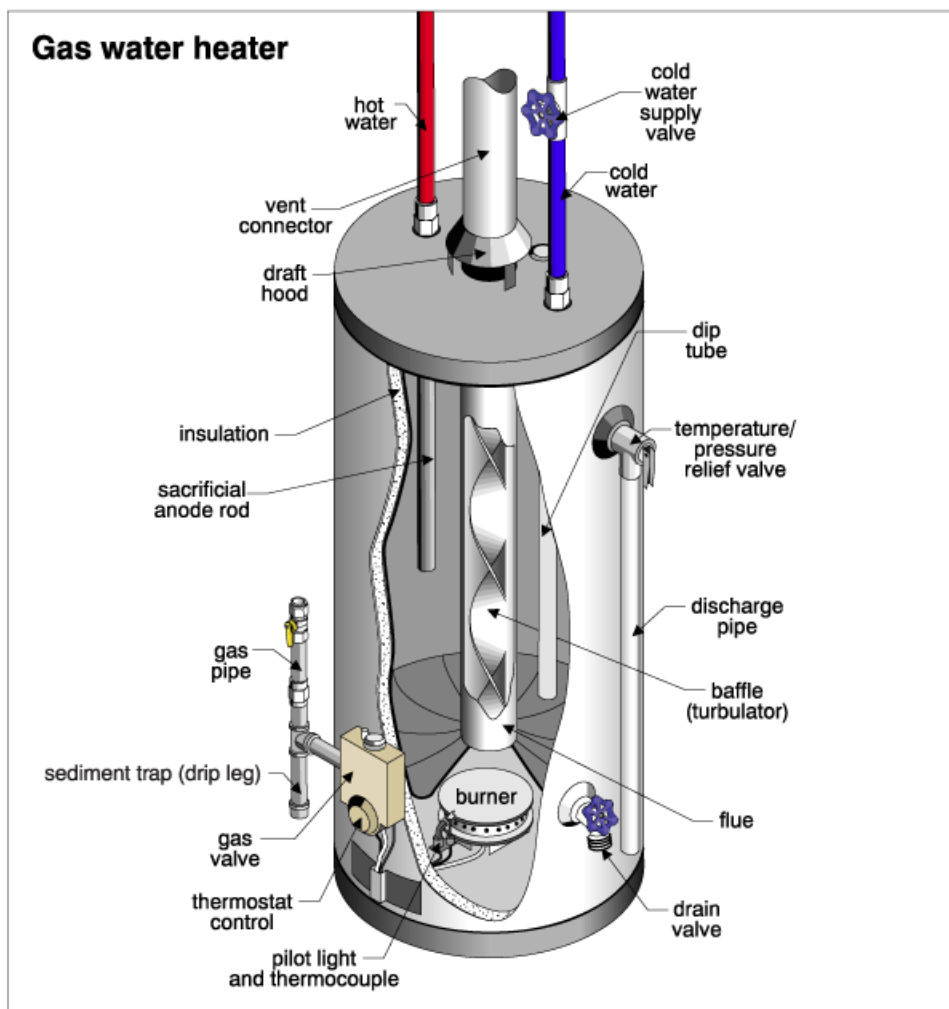
Water flow and pressure: • 55 - 60 psi • Between 40 and 80 psi is acceptable

Water heater type: • Tank

Water heater fuel/energy source:

- [Gas](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



Water heater exhaust venting method: • Natural draft

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 4 years

Water heater typical life expectancy: • 8 to 12 years

Waste and vent piping in building: • [PVC plastic](#) • [Cast iron](#)

Pumps: • None

PLUMBING

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspection Methods and Limitations

Items excluded from a building inspection: • Underground waste or sanitary sewer pipes outside of the foundation of the building. • Washing machine supply faucets and drain are not tested.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

CEILINGS \ General

43. Condition: • Water Stains

Task: Request Disclosure

Time: Immediate

Could not recreate leak at the time of inspection and suggest consulting with seller as to what repairs have been done.



69. Water Stains Task: Request...

FLOORS \ Ceramic tile, stone, marble, etc

44. Condition: • [Tiles cracked](#)

Location: Hallway Bathroom

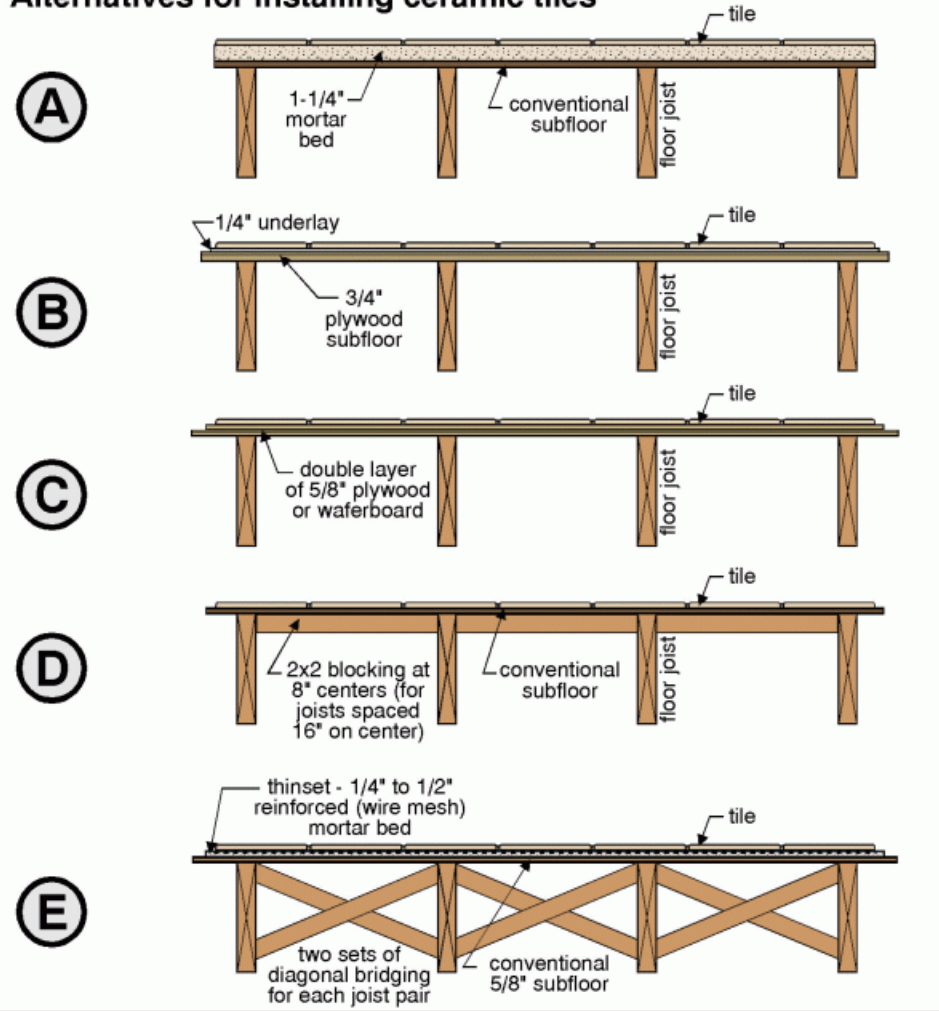
Task: Repair

Time: Discretionary

Cost: Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Alternatives for installing ceramic tiles



70. Tiles cracked

INTERIOR

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KEY FACTOR

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REFERENCE

WINDOWS AND DOORS \ General

45. Condition: • Missing hardware

Task: Provide

Time: Discretionary

Cost: Minor



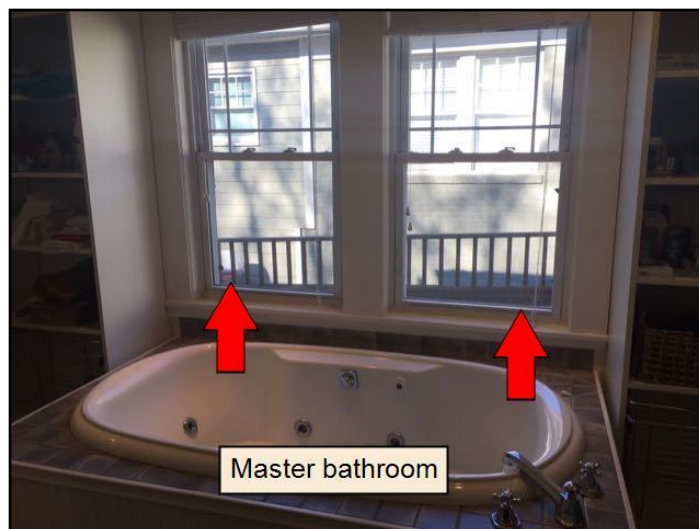
71. Missing hardware

46. Condition: • Safety Glass Not Installed

Task: Upgrade

Time: Discretionary

Cost: \$250 to \$500 (Each)



72. Safety Glass Not Installed Task:...

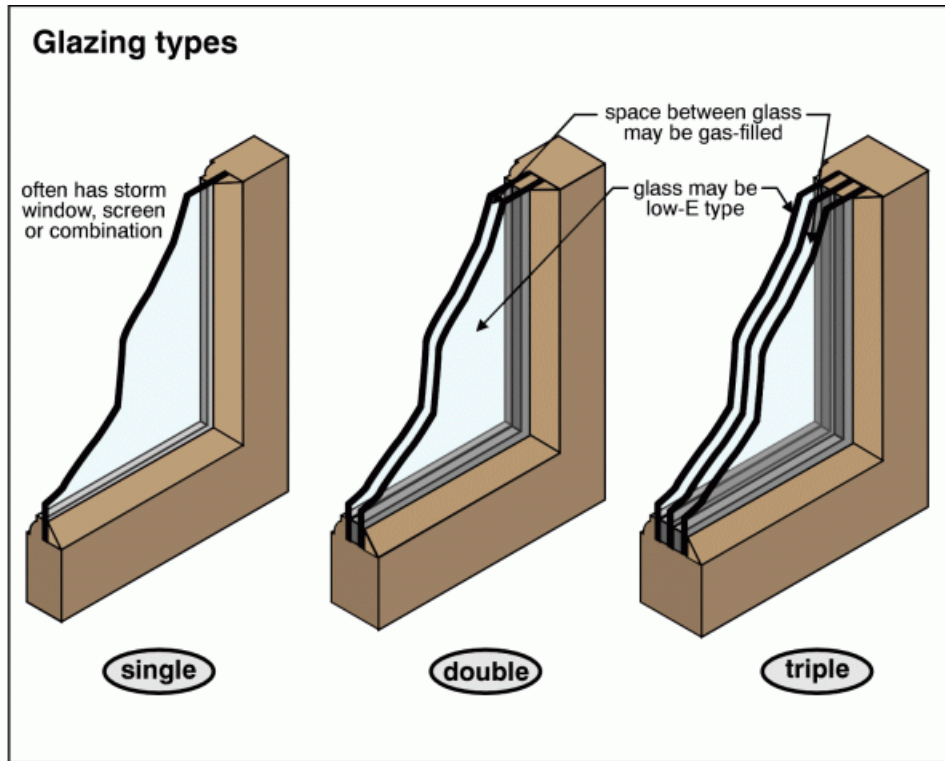
KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

47. Condition: • Lost Seal in Double or Triple Glazing

Task: Replace

Time: If Desired

Cost: \$300 to \$600 (Each)



73. Lost Seal in Double or Triple Glazing Task...



74. Lost Seal in Double or Triple Glazing Task...

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



75. Lost Seal in Double or Triple Glazing Task...



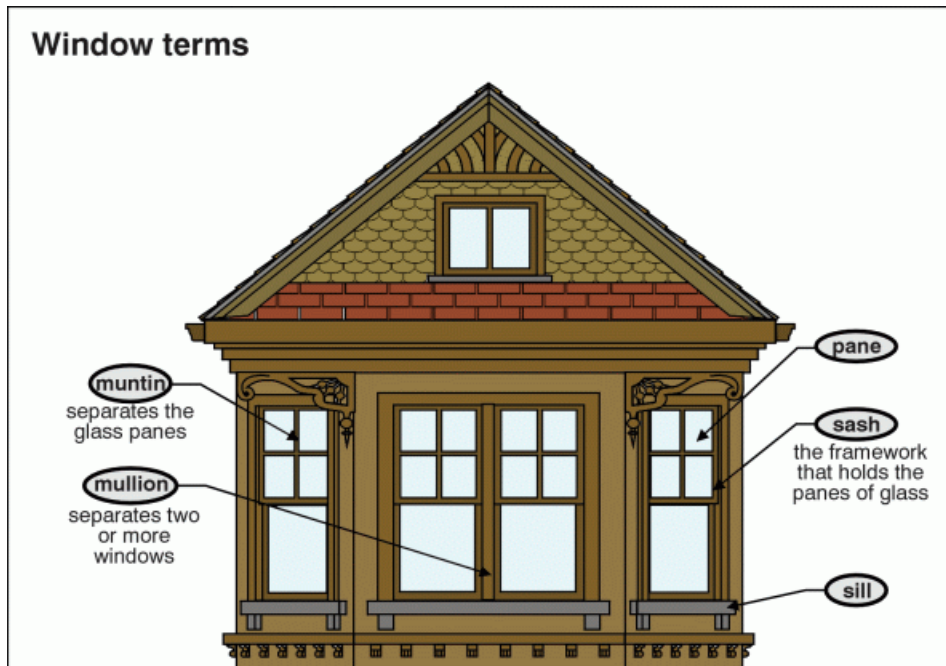
76. Lost Seal in Double or Triple Glazing Task...

48. Condition: • Sash Won't Stay Open

Task: Repair

Time: Immediate

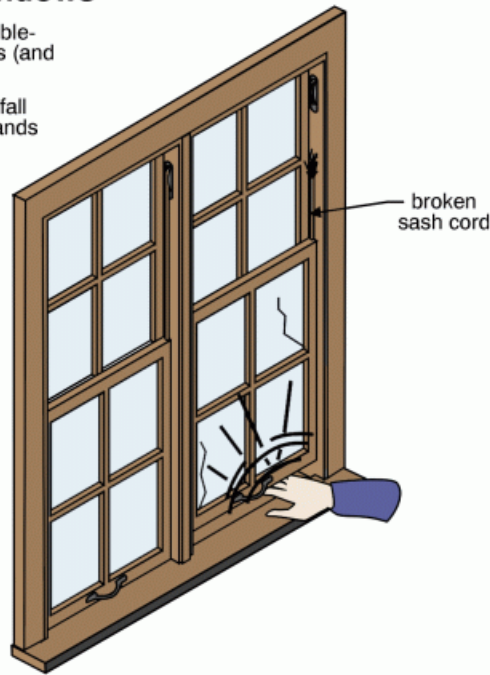
Cost: Minor



KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Watch for faulty windows

be careful when operating double-hung and single-hung windows (and also self-storing storms) if they're defective, they could fall unexpectedly - injuring your hands and/or the window



77. Sash Won't Stay Open Task: Repair Time:...

49. Condition: • Poor Fit

Task: Adjust As Needed

Time: Discretionary

Cost: Regular Maintenance Item

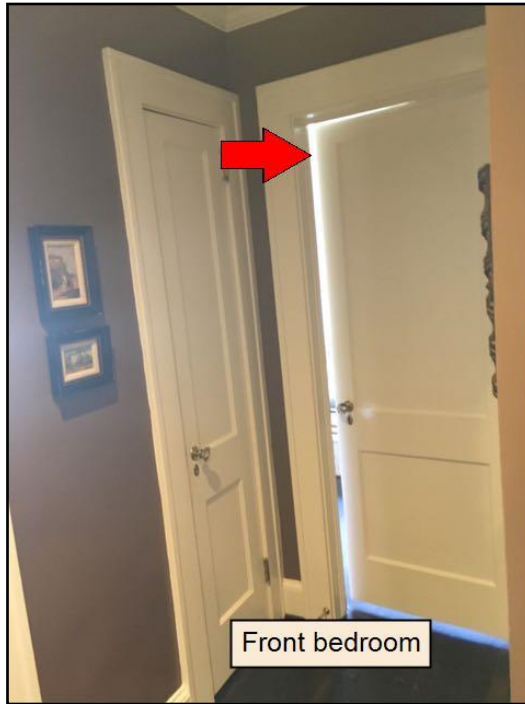
INTERIOR

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



78. Poor Fit Task: Adjust As Needed Time:...

50. Condition: • Does Not Latch Properly

Task: Adjust

Time: Discretionary

Cost: Minor



79. Does Not Latch Properly Task: Adjust Time...



80. Does Not Latch Properly Task: Adjust Time...

INTERIOR

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KEY FACTOR

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REFERENCE

CARPENTRY \ Cabinets

51. Condition: • [Pieces missing or loose](#)

Task: Provide

Time: Discretionary

Cost: Minor



81. Pieces missing or loose

52. Condition: • [Water damage](#)

Task: Repair

Time: Discretionary

Cost: Minor



82. Water damage

STAIRS \ General

53. Condition: • Headroom less than ideal

Task: Be Advised

Time: Ongoing

Location: Basement

54. Condition: • Poorly supported

Task: Improve supports

Time: Immediate

Cost: Depends on work needed



83. Poorly supported Task: Improve...

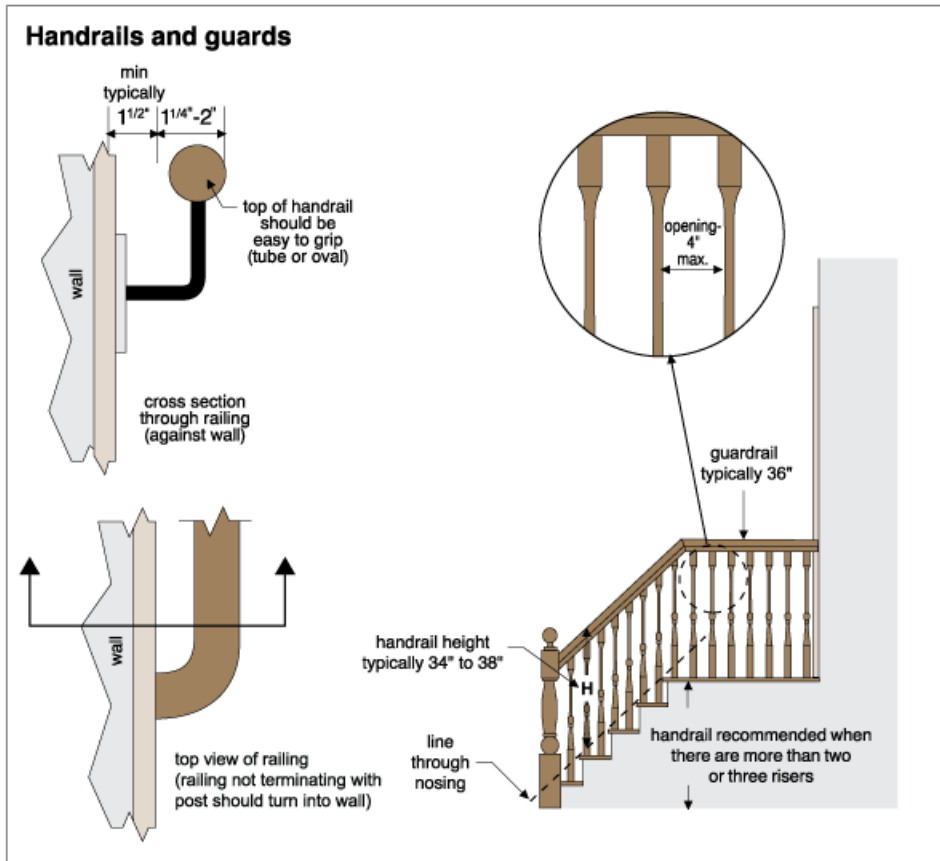
55. Condition: • Missing Handrail

Task: Provide

Time: Immediate

Cost: \$200 to \$400 for average style and grade.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



84. Missing Handrail Task: Provide Time:...

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

EXHAUST FANS \ General

56. Condition: • There is an exhaust fan in the ceiling at the end of the hall (visible from the attic) that is "on" mode and does not appear to be serving a ventilation purpose.

Location: Hallway / attic

Task: Be Advised / remove



85.



86.

BASEMENT \ Wet basement - evidence

57. Condition: • [Efflorescence](#)

Evidence of previous water intrusion. Dry at inspection.

Task: Request disclosure / consult with qualified contractor

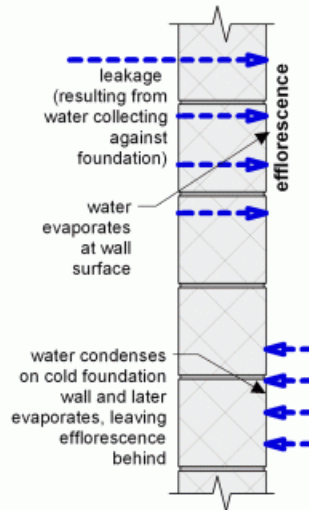
KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



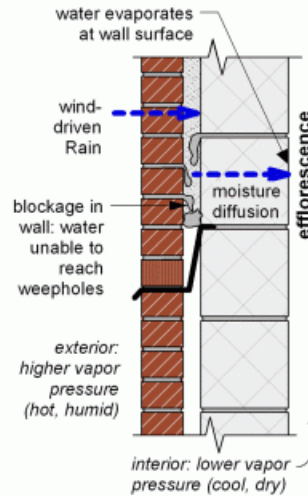
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



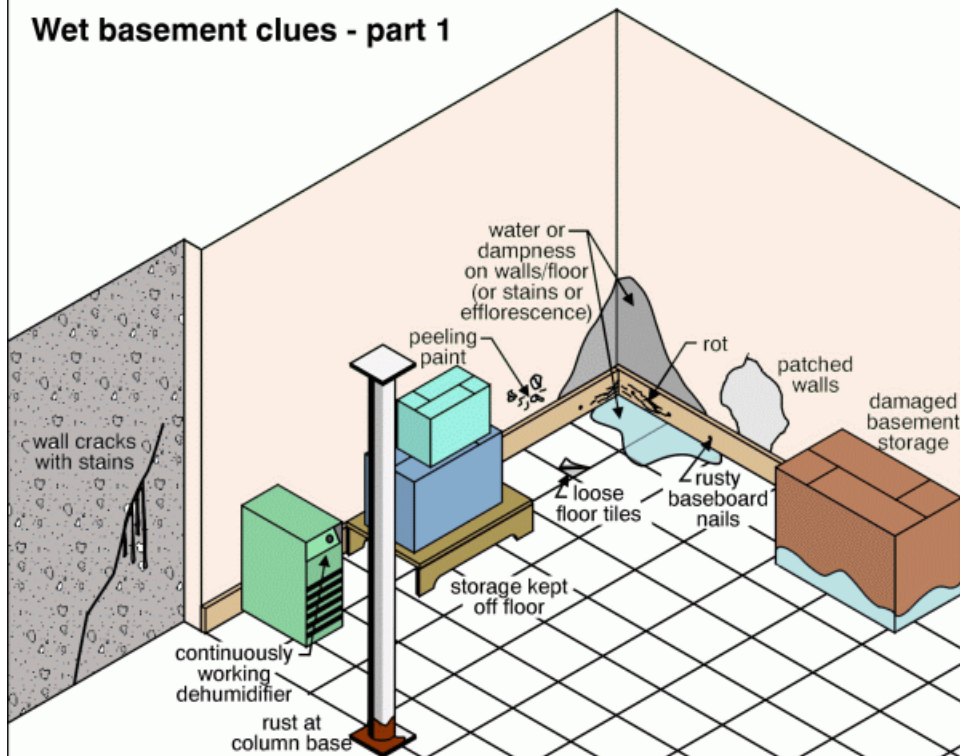
efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:

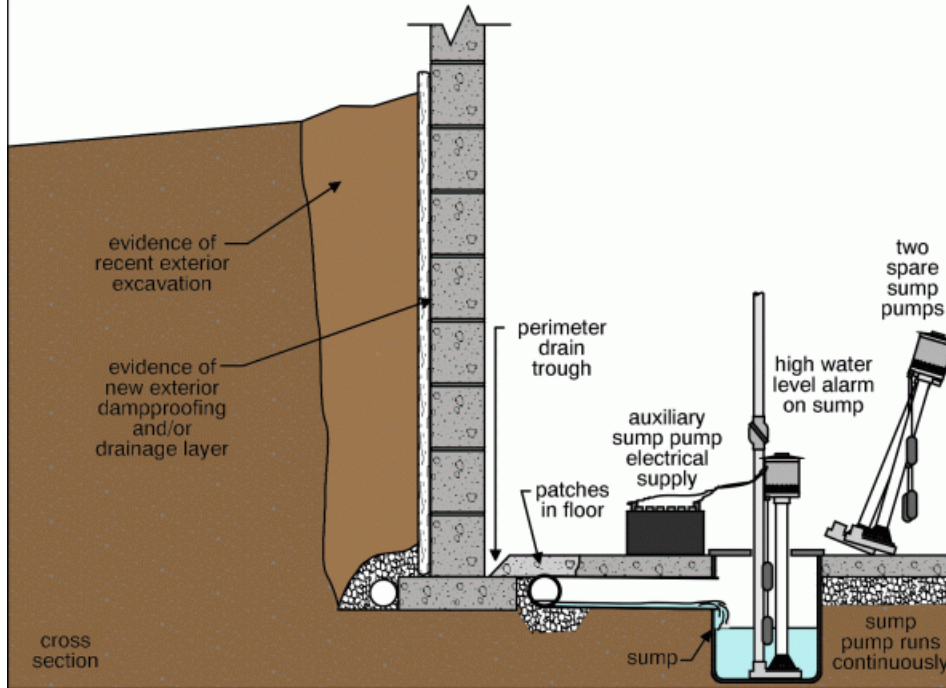


Wet basement clues - part 1



KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Wet basement clues - part 2

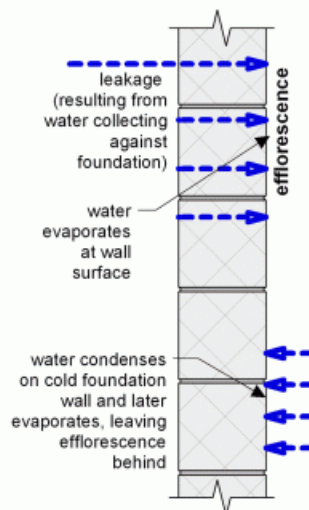


Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



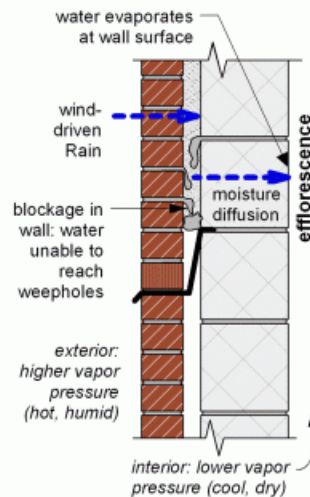
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:



INTERIOR

2238 Edison Avenue, Atlanta, GA December 18, 2019

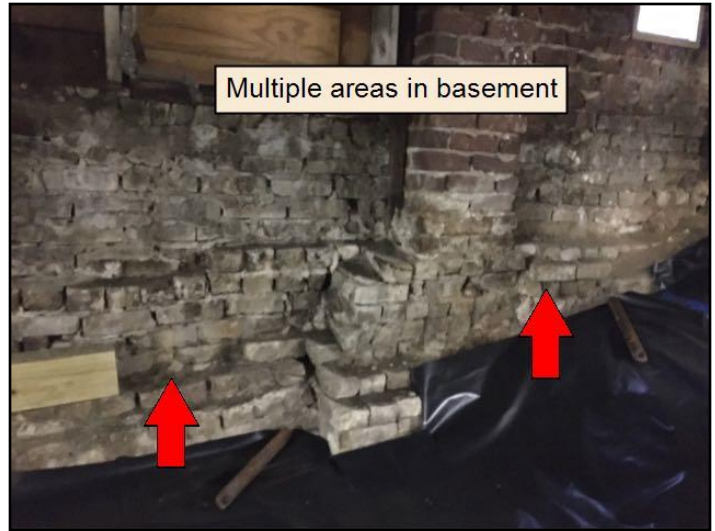
Report No. 32338

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



87. Efflorescence



88. Efflorescence

BASEMENT \ Wet basements - corrective action noted

58. Condition: • [Dehumidifier in basement](#)

Task: Request disclosure



89. Dehumidifier in basement

APPLIANCES \ Microwave oven

59. Condition: • Poor clearance from range top burners may cause damage to microwave or microwave may become too hot to handle while burners are in use

Task: Improve

INTERIOR

2238 Edison Avenue, Atlanta, GA December 18, 2019

Report No. 32338

www.home-probe.com

KEY FACTOR

ROOFING

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Time: Discretionary

Cost: Depends on the preferred remedy of repair



90. Poor clearance

Description

Major floor finishes: • Tile, Hardwoods

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [French](#) • [Wood](#)

Doors: • Inspected

Oven type: • Conventional • Convection

Oven fuel: • Gas

Range fuel: • Gas

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave oven • Door bell • Microwave/Exhaust Fan Combo • Range

Laundry facilities: • Washer • Dryer • 240-Volt outlet

Stairs and railings: • Inspected

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspection Methods and Limitations

Inspection limited/prevented by: • Cannot see connections behind washer and dryer. • MOLD/MILDEW/FUNGUS
The Inspection does not include spores, fungus, mold or mildew that may be present as this is outside the scope of a home inspection and there are companies that specialize in environmental issues. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

Appliances: • Pursuant to the ASHI Standards of Practice we perform a visual and operational inspection of all standard, built-in appliances. There are obvious limitations and we cannot confirm their level of performance but only if they are operational at the time of inspection. Appliances limited to the ones listed in this report are turned on and observed. Clothes washers and dryers are not part of this inspection. Refrigerators and freezers are inspected for obvious deficiencies and ice makers and water dispensers are not evaluated.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations and Recommendations

General

60. • There is evidence to suggest there is or has been rodent activity at the property. While we cannot determine if this is a current or even a recent issue, it is recommended that a pest control or wildlife exclusion company be consulted to determine the steps necessary to be taken for remedy.

Task: Consult with Wildlife or Pest Exclusion Company

Time: As Soon As Possible

Cost: \$1,000 and Up

Location: Attic

61. • There are existing termite "tubes" or "tunnels". When a termite treatment has been done, it is customary to remove these. Although this is outside the scope of a home inspection, their presence suggests there may be current and ongoing termite activity. Consult with a pest control company as soon as possible.



Rear of front Basement

91. There are existing termite "tubes" or...



Front right crawlspace

92. There are existing termite "tubes" or...

Description

General: • Cost estimates have been provided throughout the inspection report. This is outside of the scope of a routine home inspection and is provided only as a courtesy to a client of Home-Probe, Inc. These costs are intended as ballpark estimates for repairs and/or improvements to a typical three bedroom home. The costs are based on information obtained in the Atlanta area and from RS Means. Our experience shows that actual contractor quotes can vary from our figures by as much as 300%. Naturally, the quality of workmanship and materials will influence the cost. The complexity of a certain job, accessibility, and even economic conditions can also alter actual costs. These numbers are intended to be used as a guide only. A guaranteed estimate for all work to be done should be obtained by a qualified contractor PRIOR to commitment to purchase. The word 'Minor' may be used to describe costs up to roughly \$500 which is unlikely to have an impact on your purchasing decision.

NON-SCOPE

2238 Edison Avenue, Atlanta, GA December 18, 2019

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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General: • [Unfortunately, unpleasant surprises are part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

General: • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

General: • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#)

General: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#)
This document helps you look after your home.

General: • [This document is a great resource to use when conducting your final walk through prior to closing escrow on your new home.](#) Remember to call our office with any questions.

END OF REPORT

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Home-Probe 100 Day Guarantee

Our commitment to you:

If it worked when we were there, it should work when you move in.

We like to call this our 2 surprise guarantee. There are three types of surprises in life. Good ones, bad ones and no surprises. We want you to have no surprise at all but if you do, let's make it a good one.

MECHANICAL COVERAGE SUMMARY:

Plumbing: Water lines that are inside the home and visible, faucets, water heaters, drain lines that are inside the home and visible, gas lines that are inside the home and visible.

Electrical: Main service panel, secondary service panel, and wiring that is inside the home and visible.

Appliances: Kitchen Appliances including and limited to oven, range, dishwasher, built-in microwave, trash compactor, and garbage disposal. Refrigerator ice makers and water dispensers are not inspected and cannot be covered in this warranty.

Heating/Air (HVAC): Furnace, Air Conditioner, and Thermostats.

STRUCTURAL COVERAGE SUMMARY: Poured Concrete & Block wall foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

COVERAGE TERMS: This guarantee applies only to those items specifically listed and excludes all others. This contract covers parts and labor only and does not cover consequential or secondary damages. This contract only covers those items that were confirmed to be in good working order at time of inspection and excludes all others, regardless of their condition at the time of inspection or if they were repaired after the inspection. This contract does not cover water damage, cosmetic repairs, or items that are inaccessible without the removal of drywall, concrete, or any other permanently installed covering. This is not a maintenance contract. In order for an item to be covered, it must be maintained in accordance with the manufacturer's standards or be maintained within reasonable standards where no such standards exist.

EXCLUSIONS: This contract excludes all appliances, climate control systems, and fixtures over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. Home-Probe is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only and limited to rolled, composition, or asphalt shingle roof only.

This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. Pests are specifically excluded from our home inspection. All mechanical coverage is limited to those items within the home's foundation and all structural coverage is limited to issues within the home's foundations. Our guarantee has no deductible and is limited to an aggregate maximum of \$2000.00. Home-Probe is not an insurer. This is not a warranty or insurance policy. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home.

This is a guarantee and items covered are only those that would be inspected pursuant to the ASHI Standards of Practice. Any and all related disputes shall be interpreted and enforced in accordance with the laws of Dekalb County State of Georgia without reference to, and regardless of, any applicable choice or conflicts of laws principles. Any concerns with this guarantee must be received within 100 days of the inspection or within 22 days of closing, whichever comes later. The coverage under this policy shall come after any and all other warranties in place.

This guarantee is valid upon successful completion of our Home Inspection Authorization Form and after payment of the Home Inspection has been received.

CLAIMS PROCEDURES:

1. Written Notification of claim must be received by Home-Probe prior to the expiration of the guarantee (which is defined as noon, the 101st day after the inspection is completed or 22 days after the date of your closing).

2. An itemized repair estimate must be submitted for every approved claim, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. Home-Probe reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repair person.

Claims will be processed after we are in receipt of these items and you will be contacted by a Home-Probe representative within 72 hours of all items being submitted.

KEY FACTOR

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REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

