

Atlanta Property Inspections, Inc.

HOME INSPECTION REPORT



5780 Asby Way, Cumming, GA 30040
Inspection prepared for: Sean Malloy
Date of Inspection: 1/18/2020 Time: 9:00 AM
Age of Home: 13 Years (2007) Size: 2200 SF
Weather: Rain, Wet Soil, 40 Degrees

Inspector: Alex Sozonov

Email: fmcooper@bellsouth.net

INSPECTION STANDARDS AND LIMITATIONS:

The Inspection will be conducted under the nationally recognized, professional inspection standards and **Code of Ethics** of the **AMERICAN SOCIETY OF HOME INSPECTORS (ASHI)** and will exceed the ASHI Standards Of Practice. Copies of both ASHI documents can be found online at "www.ASHI.org". This building inspection is a **LIMITED VISUAL INSPECTION** of the above property, at the time of this inspection, and is not intended as a warranty or guarantee of any type. The inspection is not technically exhaustive and all encompassing, some detectable deficiencies may go unreported. The inspector is a generalist, not a specialist in all disciplines. Although the inspection is thorough in approach and scope, it is not always possible to identify **all deficiencies and repairs needs** in or around the home. It is understood that the inspection is visual in nature and that the report is furnished on an "opinion only" basis. The inspection firm (**Atlanta Property Inspections, Inc.**) assumes no liability and shall not be liable for any mistakes, omissions or errors in judgement beyond the cost of the inspection report nor for the cost of repairing any defects or conditions, or for repairs or replacement subsequent to the date of the inspection. Client is advised to read and understand the conditions of the **Pre-Inspection Agreement** which list in detail the inspection limitations and exclusions. In cases where the client does not attend the Home Inspection and does not sign the **Pre-Inspection Agreement**, client's acceptance and use of this report will be considered as acceptance of the conditions listed in the **Pre-Inspection Agreement**.

GLOSSARY OF TERMS:

APPEARS SERVICEABLE: Item inspected is functioning as intended, no repair needs found.

REPAIR RECOMMENDED: Item inspected was found to need repair but does not affect the safety of the homes occupants.

REPAIR ADVISED: Item inspected was found to be deficient and needs repair, the repair is considered a high priority.

FURTHER EVALUATION: Additional evaluation is recommended or advised by a professional contractor for more information regarding repair needs and cost.

CONTINUE TO MONITOR: The item inspected should be monitored for any future changes in condition and may require future repairs.

SAFETY CONCERN / HAZARD: The item inspected is deficient and may be an unsafe or hazardous condition, further evaluation and repair is advised as soon as possible.

GOOD NEWS! Positive features are mentioned when observed and can include building upgrades, energy efficiency improvements, and new equipment.

MINOR REPAIRS: The approximate repair value should normally cost less than \$300 each item.

MODERATE REPAIRS: The approximate repair value of between \$300 to \$1,000 each item.

MAJOR REPAIRS: The approximate repair value of a minimum of \$1,000 or more, each item.

CLIENT RECOMMENDATION: Suggest that the client consider changing or improving an item or function.

INSPECTION SUMMARY:

EXTERIOR GROUNDS:		
Page 7	PATIO:	<ul style="list-style-type: none"> • LIMITED INSPECTION: The underside of the rear wooden patio is not fully visible for inspection due to low clearances from the ground. The inspector is unable to inspect the anchorage system, the ledger flashing or the joists.
EXTERIOR WALLS:		
Page 9	EXTERIOR WALLS:	<ul style="list-style-type: none"> • Damaged fiber cement siding is visible at the front wall above the front porch roof (see photo). Replacement of the damaged siding is recommended.
Page 10	FASCIA / SOFFIT:	<ul style="list-style-type: none"> • Damaged wood was observed at the fascia board located at the rear gable roof (see photo). Replacement of the damaged wood is recommended; further evaluation is recommended to determine the source of the water damage and to make necessary repairs.
Page 10	PAINTING / CAULKING:	<ul style="list-style-type: none"> • Peeling paint and bare wood were noted at several wood fascia locations throughout the house (see photo). Scraping off loose paint, recaulking, and repainting is recommended soon to fully seal and protect the wood surfaces. • Open caulk joints were noted at the siding joints throughout all of the walls (see photo). Correction is recommended so that the exterior walls are fully sealed to prevent air infiltration and possible water entry.
ROOF, GUTTERS, CHIMNEY:		
Page 11	ROOF:	<ul style="list-style-type: none"> • Several front porch roof shingles are damaged and have been punctured by ladder activity on the roof (see photo). Replacement of the damaged shingles is recommended.
Page 12	GUTTERS:	<ul style="list-style-type: none"> • Multiple gutter seam leaks were observed at the front and rear roof (see photo); this condition can lead to water damage at the roof fascia and soffit. Further evaluation and repair is recommended by a professional gutter contractor, check all gutter seams and seal all that are needed.
INTERIOR:		
Page 18	INTERIOR DOORS:	<ul style="list-style-type: none"> • The two interior doors are rubbing the floor at the first floor bedroom entry door and closet door. Repair is recommended to eliminate further contact and to prevent damage to the door or the flooring.

Page 18	INTERIOR WALLS / CEILINGS:	<ul style="list-style-type: none"> • LIMITED INSPECTION: A water stain was observed in the sheetrock at the kitchen above the refrigerator area and at the upstairs hallway near the attic ladder (see photo). This is an indication of an active or previous leak. Because this is a limited visual inspection, we are unable to determine if this is an active leak or not. The following is recommended: <ol style="list-style-type: none"> 1. Ask seller for full disclosure information regarding this leak. 2. Further evaluation may be needed to determine repair needs, if any. 3. Continue to monitor, future repairs may be needed.
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KITCHEN:

Page 20	KITCHEN SINK / FAUCET:	<ul style="list-style-type: none"> • The drain below the kitchen sink is incorrectly using a flexible connector which is not approved by local plumbing codes (see photo). This type of drain pipe can allow debris collection, clogged drains and unsanitary waste food buildup. Although the use of this type of drain is common and the drain may be working correctly at this time, replacement of the flexible connector is recommended with an approved rigid, smooth bore drain pipe instead.
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BATHROOMS / LAUNDRY

Page 22	BATH SINKS:	<ul style="list-style-type: none"> • Damage was observed at the first floor bathroom cabinet floor (see photo). Further evaluation is recommended to determine the full scope of repair or replacement needs and costs. • A defective sink drain stopper is present at the first floor bathroom sink. Repair or replacement is recommended. • The left master bathroom faucet is actively leaking at the faucet handle / valve. Further evaluation and repair is recommended by a professional plumber.
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Page 23	BATHROOM VENTILATION:	<ul style="list-style-type: none"> • The bathroom vent fan cover is damaged at the right exterior wall (see photo). Replacement of the cover is recommended to prevent unwanted air infiltration, possible bird nesting, and insect entry.
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PLUMBING:

Page 24	PLUMBING SUPPLY:	<ul style="list-style-type: none"> • WATER PRESSURE TOO HIGH: A water pressure reading was taken at the rear hose bib and was found to be too high at (105) PSI. A normal water pressure reading is in the 40 - 80 PSI range. This condition could be an indication that the pressure reducer valve is defective. Further evaluation is advised by a professional plumber to determine repair needs and costs. Excessive water pressure can create potential leaks in the plumbing system such as the water heater tank, the water heater T&P valve and the washing machine supply hoses.
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WATER HEATER:

Page 27

WATER HEATER:**• BUDGET FOR REPLACEMENT:**

Due to the advanced age of this aging gas water heater, client should budget for replacement of the water heater tank soon. The water heater tank is at, or past, the normal expected lifespan of 10 years.

CLIENT NOTE - BE AWARE: Because of newer standards and building codes that affect water heaters, the cost of water heater replacement has gone up significantly and may be more than most people are expecting. Plumbers may tell you that there are "code violations" that need to be addressed during tank replacement. Beware of big box stores and larger plumbing companies that will upcharge for many additional items, some that may not be necessary or required. Some newer gas tanks will need additional electrical wiring for condensing fans and may require other installation modifications.

For these reasons, newer water heater tanks will cost more than replacing water heaters in the past - client should budget for a major expense. It is strongly suggested that client get multiple quotes and check pricing before committing to a new tank.

HEATING:

Page 31

HEATING 1:**• FURNACE INOPERATIVE:**

Unable to operate, fully test, and inspect this heating system - the first floor furnace would not come on or respond to normal thermostat controls during the inspection. This inspection is limited to a visual inspection only and is not complete. Further evaluation is advised by a professional HVAC contractor to determine the full scope of repair needs.

AIR CONDITIONING:

Page 33

AC UNIT 1:

• **AGING EQUIPMENT - BUDGET FOR REPLACEMENT:** Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. MANUFACTURERS REBATES: Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates:

<http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates:

<http://m.lennox.com/promotions/national.asp>

Trane Rebates:

<http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

2. UTILITY COMPANY REBATES: Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

3. TIME OF INSTALLATION: Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

4. GET MULTIPLE QUOTES: Always get more than one quote before making your decision - prices can vary widely from one company to another.

Page 35	AC UNIT 2:	<p>• AGING EQUIPMENT - BUDGET FOR REPLACEMENT: Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.</p> <p>Consider these cost saving strategies when replacing HVAC equipment:</p> <p>1. MANUFACTURERS REBATES: Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings: Carrier Rebates: http://www.carrier.com/homecomfort/en/us/rebates-and-financing/ Lennox Rebates: http://m.lennox.com/promotions/national.asp Trane Rebates: http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html York Rebates: http://york.com/residential/promotions-savings/default.aspx</p> <p>2. UTILITY COMPANY REBATES: Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment</p> <p>3. TIME OF INSTALLATION: Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.</p> <p>4. GET MULTIPLE QUOTES: Always get more than one quote before making your decision - prices can vary widely from one company to another.</p>
THERMOSTATS / FILTERS / DUCTING:		
Page 37	HVAC DUCTING:	<p>• The interior of HVAC ducts are very dirty; professional duct cleaning is recommended.</p>

EXTERIOR GROUNDS:

GRADING / DRAINAGE: Proper grading of the soil and proper drainage around the home's foundation area is one of the most important aspects of the property because of the direct and indirect damage that can be caused by water intrusion issues. Water is one of the home's biggest adversaries and can have a negative impact on concrete surfaces, basements and crawl spaces, deck and porch footings, and other components around the homes exterior grounds. While the performance of lot drainage may appear serviceable at the time of this visual inspection, the inspector can not predict the future performance of the drainage systems as conditions constantly change. The inspection is limited to conditions at the time of this inspection and any obvious signs of past problems.

EXTERIOR DRAINAGE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **The overall slope of the yard is flat;**
- **The overall condition of the exterior grading and drainage appears to be adequately sloped and maintained. No concerns were observed, continue to maintain good drainage conditions as needed.**

DRIVEWAY / SIDEWALK:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **A concrete driveway and sidewalk are present.**
- **The overall condition of the driveway is good; the driveway has been finished with several control joints that are designed to help to prevent significant cracking of the concrete in the future.**

FENCING / VEGETATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **The overall condition of the exterior grounds and vegetation appears to be adequately maintained, no concerns were observed.**

PORCH:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **A concrete porch is present at front entry**
- **The front porch appears serviceable, no concerns were noted.**

PATIO:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **A wooden patio is present; the rear patio appears serviceable; no concerns were noted.**

• **LIMITED INSPECTION:** The underside of the rear wooden patio is not fully visible for inspection due to low clearances from the ground. The inspector is unable to inspect the anchorage system, the ledger flashing or the joists.



Rear wooden patio

EXTERIOR WALLS:

EXTERIOR WALLS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

POSITIVE FEATURES:

1. This home has brick veneer at the some of the exterior walls. Brick provides the home with an attractive and low maintenance exterior and also acts as a good insulator for improved energy efficiency.
2. Cement fiber siding is also present at some exterior wall locations; this type of siding has been popular since the mid 1990's and has performed well if properly installed. Many manufacturers offer long term warranty coverage for this type of board (50 years for HardiPlank brand). Other benefits include resistance to moisture damage, the siding is fireproof and termite resistant, and the siding does not need as much maintenance / painting as wood siding products.

• **The overall condition of the exterior brick and siding appears serviceable except as noted below;**

• **Damaged fiber cement siding is visible at the front wall above the front porch roof (see photo). Replacement of the damaged siding is recommended.**



Damaged siding at the front wall above the front porch roof

EXTERIOR TRIM:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood trim is present; the exterior trim appears serviceable; no concerns were noted.**

FASCIA / SOFFIT:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood soffit / fascia are are present.**

• **Damaged wood was observed at the fascia board located at the rear gable roof (see photo). Replacement of the damaged wood is recommended; further evaluation is recommended to determine the source of the water damage and to make necessary repairs.**



Damaged wooden fascia at the rear gable

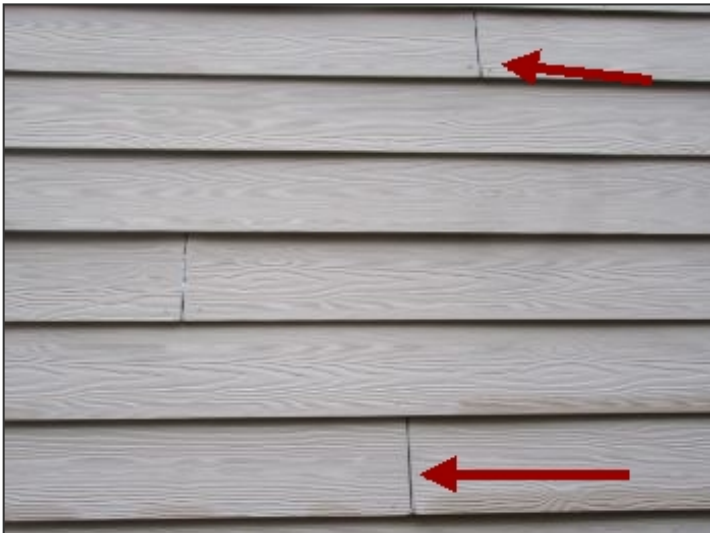
PAINTING / CAULKING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The overall condition of the exterior painting and caulking appears to be adequate, except as noted below:

• Peeling paint and bare wood were noted at several wood fascia locations throughout the house (see photo). Scraping off loose paint, recaulking, and repainting is recommended soon to fully seal and protect the wood surfaces.

• Open caulk joints were noted at the siding joints throughout all of the walls (see photo). Correction is recommended so that the exterior walls are fully sealed to prevent air infiltration and possible water entry.



Caulking recommended at the siding joints



Peeling paint at the fascia boards

ROOF, GUTTERS, CHIMNEY:

ROOF INSPECTION LIMITATIONS: The following roof inspection is an opinion of the general quality and condition of the roofing system and its components at the time of this inspection. **The inspection is a limited visual inspection of the roofing system.**

The inspector does not offer an opinion or warranty as to whether the roof is actively leaking or whether the roof may be subject to future leaks. Client is advised to inspect the roof annually and to maintain the roof and make repairs as needed.

ROOF ACCESS: Roof access is at the sole discretion of the inspector, the roof may be inspected by walking the roof, viewed from a ladder, from the ground using binoculars and / or other methods of inspection. Our inspection methods meet or exceed the professional standards of the American Society of Home Inspectors (ASHI). Work safety, weather conditions, and potential material damage are the governing factors in deciding whether to walk the roof or not.

REPAIRS: It is our strong recommendation that all roofing repairs or evaluations recommended in this report be conducted by a professionally licensed and insured roofing contractor, during the buyer's due diligence period; all repairs should meet all professional roofing industry standards, warranties, and applications.

ROOF DESCRIPTION / ACCESS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **ROOF DESCRIPTION:** Intersecting gable style roof, Steep pitch, Unknown Age

• **The roof shingles are 3 tab, composition asphalt shingles.**

• **ROOF INSPECTION ACCESS:** The roof was viewed from the ground with binoculars during wet conditions. Wet conditions prohibit walking on the roof.

ROOF:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The overall condition of the roof appears serviceable except as noted below:**

• **Several front porch roof shingles are damaged and have been punctured by ladder activity on the roof (see photo). Replacement of the damaged shingles is recommended.**



Shingle damaged at the front porch roof

ROOF FLASHING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Metal roof flashing is present; the visible roof flashings appear serviceable; no concerns were noted.

• Black vinyl boots are present at the plumbing vent stacks. The visible roof flashings appear serviceable; no concerns were noted.

GUTTERS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Aluminum gutters and downspouts are present. The gutters appear to be in good working condition except as listed below:

• Multiple gutter seam leaks were observed at the front and rear roof (see photo); this condition can lead to water damage at the roof fascia and soffit. Further evaluation and repair is recommended by a professional gutter contractor, check all gutter seams and seal all that are needed.



Gutter seam leak at the front gutters

GARAGE:

A NOTE ABOUT GARAGE FIRE SEPARATION MENTIONED BELOW:

Recent building codes require fire separation between the garage and the interior spaces to prevent quick spread of fire. Fire separation also provides an air barrier to restrict the flow of oxygen that can feed a fire through walls, doors and other openings within the garage.

Fire separation in the garage usually requires sheetrock walls and ceilings (may include the use of ceiling mounted sprinkler heads in some jurisdictions and newer codes) as well as a fire rated entry door to the interior of the home. Any openings between the floors or walls such as around mechanical equipment or HVAC ducting should be sealed to meet this standard. Repairs to provide adequate fire separation can include the use of wood, sheetrock, sheet metal and in some cases unfaced fiberglass insulation (16" thick). In older homes that do not meet this more current fire safety standard, fire separation will be suggested as an upgrade.

GARAGE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **An attached two car garage is present.**

• **The garage appears serviceable. The garage floor has adequate slope to the outside and the garage walls and ceilings appear to be in good condition.**

GARAGE DOOR:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Two metal overhead doors are present. The garage doors appear serviceable; no concerns were noted.

OVERHEAD DOOR OPENER:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The overhead door openers were tested and was found to be operating normally. The auto safety reverse feature of the door openers were also successfully tested.**

GARAGE FIRE SEPARATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The garage fire separation looks good - the garage walls, ceilings, and the entry door appear to meet current fire safety separation standards.

SLAB FOUNDATION:

SLAB FOUNDATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **A slab foundation is present and is constructed of poured concrete. The foundation appears serviceable, no concerns were noted during this limited visual inspection.**

WOOD DESTROYING INSECTS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **CLIENT RECOMMENDATION:**
A termite protection bond is recommended for this home to protect the home's structure from future termite activity and potential damage. Consult with a professional pest control contractor for more information and a price quote.

• **Client is recommended to check whether this property is covered by an existing termite protection bond that is transferable to the buyer. A termite bond can help to reduce risk of future termite damage and provides frequent or annual termite inspections.**

RODENTS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **There were no signs of any rodent activity during this limited visual inspection.**

ATTIC:

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

ATTIC ACCESS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The attic is accessible by a pull down ladder. The attic access appears serviceable; no concerns were noted.**

ATTIC / ROOF FRAMING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The roof is framed with engineered trusses in the attic and includes oriented strand board (OSB) roof decking.**



Attic framing and insulation looks good

ATTIC LEAKS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **No evidence of roof leaks were observed during this limited attic inspection.**

ATTIC VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The roof and attic ventilation consists of:**
• **Soffit vents, ridge vents and gable vents;**

• **The roof and attic ventilation appears to be adequate, no concerns were noted.**

ATTIC INSULATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Fiberglass Blown In Insulation; approximately 12 inches in depth or about R30.**

The attic insulation appears serviceable, no concerns were noted.

ATTIC FIRE SEPARATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Appears serviceable; the attic fire separation looks good, no concerns were noted.**

ATTIC RODENTS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **At the time of this home inspection, there is no visible evidence of rodent activity in the attic during this limited visual inspection of the accessible areas of the attic space.**

IMPORTANT NOTE: As a courtesy, we will mention visible evidence of rodent activity when we see it; however, because we are not certified pest control contractors, we can not guarantee that we will be able to identify and report on all previous or active rodent activity in the attic, including bats that may be roosting outside the attic space. We will not be responsible for any rodent activity discovered after our inspection.

As a precaution, we strongly advise that client schedule a professional termite inspection that includes an inspection of the attic spaces to determine the presence of rodent, animal, or bat activity in the attic.

INTERIOR:

INSPECTION LIMITATIONS - FLOORS: The flooring inspection is limited to a visual inspection only. The inspector does not lift or remove floor coverings such as carpeting or vinyl flooring to evaluate the floor. No furniture, cabinets, storage items, or rugs are moved to evaluate floorings. This inspection is limited to visible and accessible areas of the floor system. The inspector does not report on cosmetic defects with the floors such as carpet stains, carpet damage, carpet stretching needs, hardwood floor scratches or hardwood floor stain / color fading.

INSPECTION LIMITATIONS - WINDOWS: During our inspection of the windows, we will test and open a representative number of windows throughout the home. Our goal is to meet or exceed the professional standards of practice for the American Society of Home Inspectors (ASHI) during our window inspections.

However, our inspection of the windows is limited: We do not test or open every window in the home; we do not move furniture to open or test windows; we do not repair or unstick windows that have been painted shut; we do not test windows that are cracked or damaged. We recommend all repairs of the windows be conducted by a professional window repair contractor. In some cases, further evaluation is needed to fully evaluate repair needs and costs beyond the scope of this limited inspection.

We assume no liability for hidden damage from unprofessional patch repairs to wood window frames or wood window sills, including damage to other components of the home, particularly when these types of repairs cover up the initial damage. If any patch repairs are noted in this report, client is advised to have this type of repair evaluated further by a professional window repair contractor to determine the adequacy of the repair.

We will accept no liability for windows with defective thermal seals (moisture inside the glass) during wet or rainy periods where visibility of the glass is restricted.

INSPECTION LIMITATIONS - CEILINGS: During the inspection, it is common to find water stains in the sheetrock ceilings and walls. Because this is a limited visual inspection, we can not fully evaluate this condition or make a determination whether an active leak is present. If water stains are visible, we recommend that the buyer ask the home seller for full disclosure information regarding this condition.

EXTERIOR DOORS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Steel coated entry door;
- Steel coated entry door with tempered safety glass
- **The exterior doors appear serviceable and operate normally; no concerns were noted.**

CLIENT RECOMMENDATION:

As a standard security measure, it is recommended that client consider installation of new door locks or rekeyed locks after move-in to insure that no one else has a copy of the house keys.

INTERIOR DOORS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood interior doors are present; the interior doors appears to be serviceable and functional except as listed below:**

• **The two interior doors are rubbing the floor at the first floor bedroom entry door and closet door. Repair is recommended to eliminate further contact and to prevent damage to the door or the flooring.**

WINDOWS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Vinyl clad frames with double pane glass.**

• **The overall condition of the windows is OK; a representative number of windows were operated and found to be functional.**

INTERIOR WALLS / CEILINGS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The interior walls and ceilings are covered with sheetrock / gypsum board. The overall condition of the interior walls and the ceilings appears to be serviceable during this limited visual inspection; no concerns were noted except as listed below:**

• **LIMITED INSPECTION:**

A water stain was observed in the sheetrock at the kitchen above the refrigerator area and at the upstairs hallway near the attic ladder (see photo). This is an indication of an active or previous leak. Because this is a limited visual inspection, we are unable to determine if this is an active leak or not.

The following is recommended:

1. Ask seller for full disclosure information regarding this leak.
2. Further evaluation may be needed to determine repair needs, if any.
3. Continue to monitor, future repairs may be needed.



Water stain at the hallway near the attic ladder

FLOORS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The general condition of floors appears to be serviceable. NOTE: This inspection is limited due to floor coverings and does not evaluate cosmetic conditions with floor coverings such as carpet stains, floor scratches, etc. Floor conditions below carpeting and underneath area rugs will not be reported in this inspection and are excluded. We will not move the home sellers furniture in order to inspect flooring conditions. Buyer is advised to move all area rugs as needed for a more full evaluation of the floor conditions below the rugs.**

INTERIOR STAIRS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The interior stairs appear to be serviceable; no concerns were noted.**

FIREPLACE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Fireplace Location: Family room Fireplace Type: Prefabricated metal - direct vent with gas logs**

The fireplace appears serviceable; no concerns were observed. Annual inspections are recommended along with regular cleaning of the chimney flue as needed.

KITCHEN:

INSPECTION LIMITATIONS: KITCHEN APPLIANCES:

Inspection of stand alone refrigerators, freezers and built-in ice makers are outside the scope of this inspection. Oven self cleaning or continuous cleaning operations, cooking functions, clocks, timing devices, lights, and thermostat accuracy are not tested during this limited visual inspection. Stand alone ice makers that are not turned on and operational will not be inspected. Appliances are not moved during the inspection with the possible exception of inspecting behind the stove.

KITCHEN CABINETS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood cabinets and solid surface countertops are present. The kitchen cabinets and countertops appears serviceable, no concerns were noted.**

KITCHEN SINK / FAUCET:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **A fiberglass sink is present;**

• **The kitchen sink and faucet appear serviceable; no concerns were noted.**

• **The drain below the kitchen sink is incorrectly using a flexible connector which is not approved by local plumbing codes (see photo). This type of drain pipe can allow debris collection, clogged drains and unsanitary waste food buildup. Although the use of this type of drain is common and the drain may be working correctly at this time, replacement of the flexible connector is recommended with an approved rigid, smooth bore drain pipe instead.**



Improper flex drain below kitchen sink

STOVE / OVEN / COOKTOP:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **A gas range / stove is present;**

• **Appears serviceable; the stove was tested and appears to be functioning normally. The anti-tip bracket is in place as needed.**

DISHWASHER:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The kitchen dishwasher was operated through a normal wash, rinse and dry cycle. Operation was normal; no concerns were noted.

KITCHEN VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The microwave vent hood is functional and is recirculating back into the kitchen.

• The kitchen vent hood fan is functional; no concerns were noted.

MICROWAVE OVEN:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The microwave oven was tested and appears to be operating normally.

DISPOSAL:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Appears serviceable; the disposal was tested and operated normally.

REFRIGERATOR:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• None installed.

BATHROOMS / LAUNDRY

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

NUMBER OF BATHROOMS:

2 full baths.

BATH SINKS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The condition of the bathroom sinks appears serviceable except as noted below:**

- Damage was observed at the first floor bathroom cabinet floor (see photo). Further evaluation is recommended to determine the full scope of repair or replacement needs and costs.
- A defective sink drain stopper is present at the first floor bathroom sink. Repair or replacement is recommended.
- The left master bathroom faucet is actively leaking at the faucet handle / valve. Further evaluation and repair is recommended by a professional plumber.



Damaged cabinet floor at the first floor bathroom

BATH TOILETS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The bathroom toilets were operated and tested and all appear to be serviceable.**

POSITIVE FEATURE!

The toilets are the newer low flow water saving toilets that use only 1.6 gallons per flush (GPF) instead of the older type toilet that uses 3-5 GPF.

BATH TUBS / SHOWERS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The bathtub and shower fixtures were tested and appear to be serviceable.

BATHROOM VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• A window and vent fan are both present; the bathroom ventilation appears serviceable, no concerns were observed.

• The bathroom vent fan cover is damaged at the right exterior wall (see photo). Replacement of the cover is recommended to prevent unwanted air infiltration, possible bird nesting, and insect entry.



Damaged vent at the right wall

LAUNDRY:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• The laundry room is located at the second floor.

• The plumbing hookups appear to be serviceable but were not tested during this very limited visual inspection. The electrical hookups appear to be OK. A dryer duct is present and appears serviceable.

LIMITED INSPECTION:

1. The laundry appliances, if present, were not tested.
 2. The laundry dryer duct is not fully visible for inspection, we are unable to view the interior of the duct. Continue to monitor and keep the duct clean and free from lint buildup.
- The dryer electrical outlet is the newer 4 prong outlet (required after 1998). Client should check their dryer for electrical cord compatibility. If not compatible, client will need to purchase a new 4 prong cord for the dryer.

• CLIENT RECOMMENDATION:

Due the finished space located below the laundry room, client should consider the installation of metal reinforced supply hoses for the washing machine. This inexpensive upgrade (\$20) can help reduce leaks and water damage to the space below.

PLUMBING:

PLUMBING INSPECTION LIMITATIONS: Because this inspection is limited to a visual inspection only, all underground piping related to water supply, sewer waste drainage, septic waste drainage, gas piping to the home or exterior gas fixtures, or piping used for irrigation use are **specifically excluded** from this inspection. Plumbing leakage, clogged drains or obstructions, or corrosion damage in any of the underground plumbing piping system can not be detected during this limited visual inspection.

This inspection company assumes no liability for any underground leaks or underground clogs that may lead to damage to the home associated with underground conditions. Underground septic systems, underground sewer lines, gray water tanks, backflow preventer valves, and underground irrigation systems are also not within the scope of this inspection. Overflow drains for tubs and sinks are not flooded or tested during this inspection. Gas appliances shut down will not be operated or tested.

PLUMBING OR GAS REPAIRS: It is our strong recommendation that all plumbing or gas piping repairs listed in this report be conducted by a licensed, professional plumbing contractor and that all repairs meet the minimum standards and requirements of the Georgia Plumbing Code and the Gas Code. It is suggested that client request written receipts and warranties for all work completed.

PLUMBING SUPPLY:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The water service is public and appears serviceable; the underground piping appears to be Copper. No concerns were observed.

• The main plumbing supply cut-off valve is located at the water heater.

• Plastic PEX piping is present. PEX is cross linked polyethylene and is a plumbing product that was introduced in the United States in the 1980s. PEX is flexible and easy to install which makes it popular with new home builders. PEX can withstand changes in temperature very well and is often used in hydronic radiant heating systems, refrigeration warehouses, ice skating rinks and in snow melting applications. PEX is also known for being highly resistant to chemicals commonly found in the plumbing environment. Because of its flexibility, PEX systems are quieter than rigid pipes. The smooth interior will not corrode and the pipe is freeze break resistant.

• WATER PRESSURE TOO HIGH:

A water pressure reading was taken at the rear hose bib and was found to be too high at (105) PSI. A normal water pressure reading is in the 40 - 80 PSI range. This condition could be an indication that the pressure reducer valve is defective. Further evaluation is advised by a professional plumber to determine repair needs and costs. Excessive water pressure can create potential leaks in the plumbing system such as the water heater tank, the water heater T&P valve and the washing machine supply hoses.



Water pressure is high at 105 psi

PLUMBING DRAINS / SEWAGE:

OK Minor Moder Major Recom

• A public sewer system appears to be present with plastic drain pipes. (NOTE: The presence of a sewer system can not be guaranteed during this inspection; client is advised to confirm the type of waste system of the home).

• The drain piping appears serviceable; no concerns were found.

GAS SERVICE:

OK Minor Moder Major Recom

• The gas meter is located at the right side wall exterior wall and appears serviceable; no concerns were found. (NOTE: The gas lines inside the walls, ceilings and floors are not fully visible for inspection and could not be evaluated).

WATER HEATER:

WATER HEATER MAINTENANCE RECOMMENDATIONS:

1. TEST THE T&P VALVE:

Client is advised to test the temperature and pressure relief valve (TPR valve) at least once per year to insure normal valve operation and safe performance of the water heater. Lack of testing can lead to a potential **safety hazard**. Corrosive buildup could form inside the valve causing the valve to lock up and fail to open. The valve should open thermostatically, on its own, if needed during an overheating event or due to increased pressure inside the tank. This valve is easily tested by lifting the lever and allowing water to exit the tank through the attached drain line. When done testing, the valve should return to its original closed position and seal itself. If the valve fails to fully open, fully close, or if the valve leaks several minutes after testing, valve replacement may be needed by a professional plumber.

2. DRAIN THE TANK:

The water heater manufacturer recommends draining the water heater at least once per year to flush unwanted soil sediment and corrosive mineral deposits collecting inside the lower tank. The draining process includes turning off the power or gas to the tank, turning off the cold water supply to the tank, attaching a garden hose to the drain valve at the bottom of the tank, and opening the drain valve to release the water. The tank may not need to be fully drained, sometimes only 5-10 gallons needs to be released. Monitor the water clarity and stop draining the tank after the water quality clears up. When the draining process is complete, close the drain valve and turn the cold water supply back on.

3. READ THE OWNER'S MANUAL:

Read the water heater owner's manual for more information concerning tank safety and tank maintenance.

WATER HEATER:

OK	Minor	Moder	Major	Recom
X			X	

• The water heater is operated by natural gas and is located located in the garage.

• **TANK DESCRIPTION:** Bradford White, 50 gallons, 13 years old (2007)

• **The gas water heater appears serviceable, no concerns were noted. The gas piping, exhaust venting and **combustion air** requirements all look good.**

• **BUDGET FOR REPLACEMENT:**

Due to the advanced age of this aging gas water heater, client should budget for replacement of the water heater tank soon. The water heater tank is at, or past, the normal expected lifespan of 10 years.

CLIENT NOTE - BE AWARE: Because of newer standards and building codes that affect water heaters, the cost of water heater replacement has gone up significantly and may be more than most people are expecting. Plumbers may tell you that there are "code violations" that need to be addressed during tank replacement. Beware of big box stores and larger plumbing companies that will upcharge for many additional items, some that may not be necessary or required. Some newer gas tanks will need additional electrical wiring for condensing fans and may require other installation modifications.

For these reasons, newer water heater tanks will cost more than replacing water heaters in the past - client should budget for a major expense. It is strongly suggested that client get multiple quotes and check pricing before committing to a new tank.



Water heater in the garage



Main water cut off in the garage

ELECTRICAL SYSTEM:

ELECTRICAL INSPECTION LIMITATIONS:

This is a visual inspection of the accessible components of the electrical system only; wiring inside walls, ceilings and floors are not visible for inspection and are not within the scope of this report. The panel cover(s) will be removed (if accessible) and will be visually inspected for defects or violations. Testing of the main breaker is not within the scope of this inspection. A representative number of receptacles/outlets will be tested for proper grounding, polarity and GFCI protection if needed. Wiring devices behind furniture or in use for computers, TVs, etc. will not be tested. Light fixtures will be tested but light bulbs will not be changed if the light is inoperative. Evaluation of low voltage wiring, phone and CATV wiring, security system wiring, intercom or stereo wiring, and central vacuum systems is not within the scope of this inspection. Electrical concerns and problems, by their nature, often involve hazards with fire safety or personal life safety and should be considered with utmost seriousness.

REPAIRS: If electrical repairs are suggested in this report, it is strongly advised that all repair or replacement work meet the safety requirements and standards of the National Electric Code (NEC). Electrical repairs attempted by anyone other than a licensed electrician is **NOT ADVISED**. It is suggested that client obtain written receipts and warranties of all repair work completed.

GFCI PROTECTION - SELF TEST REGULARLY:

GFCI protection (Ground Fault Circuit Interrupt) is now required by the National Electric Code (NEC) to protect occupants against electric shock and injury at "wet locations" which includes outlets at all exterior location, all garage outlets, basements, all bathroom outlets, all kitchen countertop outlets, jetted tubs or hot tubs, and any outlet within 6 feet of a sink such as a wet bar or a laundry wash tub. Outlets near or around swimming pools are also included. Exceptions include outlets for washing machines, garage door openers, refrigerators and sump pumps. In older homes, GFCI protection may not be present in each of the required locations but is suggested as an upgrade for improved safety.

Client is advised to test all GFCI protected outlets at least once per year to insure they are functioning properly; because there is a high failure rate with older GFCI outlets, many need replacement after just a few years. It is recommended that client purchase a simple GFCI outlet tester at the local hardware store or home center; this type of inexpensive tester (\$8) is a good addition to any tool box and will provide a more accurate test.

ENERGY SAVINGS TIP - UPGRADE YOUR LIGHT BULBS:

For improved energy efficiency and reduced lighting costs, consider changing all of your incandescent light bulbs to the newer and more efficient compact fluorescent light bulbs (CFL) or LED bulbs. Compact fluorescent bulbs and LED bulbs are slightly more expensive than incandescents but they can last up to 10 times longer (up to 10,000 hours) and they use significantly less power (about one fourth as much energy to produce the same amount of light). This simple change can save up to 75% of the total cost of lighting a home or about \$100 - \$150 per year.

ELECTRICAL SERVICE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The electrical service is underground - 110/220 volt;**

• **The electrical grounding consists of a single ground rod near the electrical meter.. The electrical service and grounding appears serviceable; no concerns were noted.**

• **A 150 amp main breaker is present at the exterior meter location. Appears serviceable, no concerns were noted.**

MAIN PANEL:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The main panel is located in the garage . Circuit breakers are present. The main panel box appears serviceable during a limited visual inspection inside the panel; no concerns were found.

LIGHTS / SWITCHES:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Appears serviceable - a representative number of lights and switches were tested and appear serviceable; no concerns were noted.

ELECTRICAL WIRING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Appears serviceable, the visible wiring appears to be serviceable; no concerns were noted.

RECEPTACLES:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• A representative number of receptacles / outlets were tested and appeared to be functional. No concerns were noted.

GFCI / AFCI PROTECTION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **GFCI** protection is present at all required locations including the exterior, garage, bathrooms and kitchen countertop locations. The GFCI outlets were tested and were found to be functioning properly.
Client is advised to test these locations at least once per year to insure the GFCI protection is fully functional. An inexpensive GFCI outlet tester can be purchased for around \$10.

FIRE SAFETY:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• The smoke detector alarms were tested and all responded to test button operation. It is suggested that client continue to test all smoke detectors regularly and change each 9 volt battery at least once a year.

• **UPGRADE SUGGESTED - FIRE SAFETY:**

Outdated smoke detectors are present and should be considered for replacement and updating. The NFPA (National Fire Protection Association, Inc) recommends that smoke detectors be replaced after ten years of use.

• **UPGRADE SUGGESTED - FIRE SAFETY:**

For improved fire safety, it is recommended that fire extinguishers be present in the home, one on each floor level. The extinguishers should be UL approved and an ABC type for residential use; the ABC type fire extinguisher assists in putting out several different types of fires commonly found in residential homes such as paper fires, grease fires in kitchens and electrical fires. Choose a quality unit that can be recharged after use. Good locations for fire extinguishers include one at each floor level with the garage, laundry room, bedroom hallways and the kitchen being the best locations. To prevent the chemical powders inside the fire extinguisher from compacting, each extinguisher should be shaken 2 times per year.

CARBON MONOXIDE DETECTORS:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **UPGRADE SUGGESTED - ADD CARBON MONOXIDE DETECTORS:**

Installation of a carbon monoxide detector is recommended as a safety upgrade. Current building codes have recently changed (Jan. 1, 2009) to require carbon monoxide detectors in new home construction. Because of this newer safety standard, the installation of C/O detectors is recommended as a safety upgrade.

Carbon monoxide detectors are recommended on each floor level of the home and at least one carbon monoxide detector should be located in the master bedroom to alert the adults in the home to a possible C/O problem. Other good carbon monoxide detector locations include the garage and other areas where gas appliances are located such as furnaces, fireplaces, and water heaters. If a gas water heater or furnace is located in an area such as a hallway closet near the bedrooms, a C/O detector is strongly advised in the hallway near the gas appliance but not closer than 5 feet from the appliance.

Since many C/O detectors are manufactured to the UL Standard 2034 which allows for C/O levels of 70 PPM (parts per million) for 3.5 hours before alarming, it is suggested that client install low level C/O detectors that have a visible digital readout to provide an increased awareness of possible changing conditions.

HEATING:

HVAC INSPECTION LIMITATIONS:

1. This inspection consists of a limited visual inspection of the Heating, Ventilation, and Air Conditioning (HVAC) components and is not technically exhaustive. The systems are inspected using normal access methods and thermostat controls; the systems are not dismantled or taken apart during this inspection.
2. Client is advised that the condition of the Heat Exchanger, located inside gas furnaces, is NOT WITHIN THE SCOPE OF THIS LIMITED VISUAL INSPECTION.
3. If the gas heating system is over 15 years old, the system may be close to its end of life and a full heat exchanger inspection is advised by a professional HVAC contractor prior to purchase of the home. Completing annual heat exchanger inspections every year thereafter is also recommended to ensure safe operation of the aging system. In addition, installation of carbon monoxide detectors is also recommended in any home with aging, gas fired heating equipment.
4. The proper operation of humidifiers, float switches, condensate pumps, electronic dampers, UV air cleaners, duct air flow balancing systems, and electronic air filters are not within the scope of this limited inspection.
5. The adequacy or proper sizing of the heating or cooling supply is not analyzed or calculated during this limited visual inspection.
6. Evaluating or checking coolant / freon levels, as well as pressure balances within the refrigeration system are not within the scope of this limited inspection.
7. Testing of the exterior AC units is not performed in cold weather months where the overnight temperatures have dropped below 60 degrees. The AC inspection during these conditions will consist of a visual inspection and a quick start-up only.
8. Annual inspections and service is recommended to properly maintain the cooling and heating systems.

REPAIRS:

It is our recommendation that all repairs listed in this report be completed by a professional HVAC contractor. It is suggested that client ask for written receipts and warranties for all work completed.

HEATING 1:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **First Floor Zone: Goodman, located in the attic, 44,000 BTU, 13 years old**

• **80% Efficiency: This is the most common efficiency rating.**

• FURNACE INOPERATIVE:

Unable to operate, fully test, and inspect this heating system - the first floor furnace would not come on or respond to normal thermostat controls during the inspection. This inspection is limited to a visual inspection only and is not complete. Further evaluation is advised by a professional HVAC contractor to determine the full scope of repair needs.



First floor furnace in the attic

HEATING 2:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **Second Floor Zone: Goodman, located in the attic, 44,000 BTU, 13 years old**

- **80% Efficiency: This is the most common efficiency rating.**

- **The heating system appears serviceable; the heating system was operated and was found to be functioning normally during a limited visual inspection, no significant concerns were noted. Continue to maintain the system and have it serviced regularly.**



Second floor furnace in the attic



Second floor heating temps are normal

AIR CONDITIONING:

AIR CONDITIONING LIMITATIONS:

The inspector does not perform pressure testing on the coolant systems and does not verify coolant charge or coolant line integrity. Determining the adequacy of the system sizing / capacity is not within the scope of this inspection and can only be determined by performing a load test by a professional HVAC contractor. Regular service and maintenance is recommended on an annual basis.

AC UNIT 1:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

• **First Floor Zone: Goodman, 2 ton, 13 years old (2007)**

• POSITIVE FEATURE!

This air conditioner has a 13 SEER rating (Seasonal Energy Efficiency Ratio). This 13 SEER system should be approximately 25% - 30% more efficient to operate than previous air conditioners that had a 10 SEER minimum rating. This means that it will cost approximately 25% - 30% less to cool your home, a significant energy savings. The 13 SEER minimum rating requirement began in January 2006.

• AGING EQUIPMENT - BUDGET FOR REPLACEMENT:

Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. **MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates: <http://m.lennox.com/promotions/national.asp>

Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

2. **UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

3. **TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

4. **GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



First floor AC unit

AC UNIT 2:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

- **Second Floor Zone: Goodman, 2 ton, 13 years old (2007)**

- **POSITIVE FEATURE!**

This air conditioner has a 13 SEER rating (Seasonal Energy Efficiency Ratio). This 13 SEER system should be approximately 25% - 30% more efficient to operate than previous air conditioners that had a 10 SEER minimum rating. This means that it will cost approximately 25% - 30% less to cool your home, a significant energy savings. The 13 SEER minimum rating requirement began in January 2006.

- **AGING EQUIPMENT - BUDGET FOR REPLACEMENT:**

Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. **MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates: <http://m.lennox.com/promotions/national.asp>

Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

2. **UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

3. **TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

4. **GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



Second floor AC unit

THERMOSTATS / FILTERS / DUCTING:

THERMOSTATS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The thermostats appear to be functional and working normally during testing of the HVAC systems.

• **POSITIVE FEATURE - SMART THERMOSTATS:** The thermostats in this home are "Smart" thermostats that can help save money on HVAC bills. This type of thermostat has many additional features, including Blue Tooth connectivity, that allows the homeowner to operate the systems remotely from their cell phone or other portable devices. In addition, some smart thermostats can "learn" the homeowners habits and program temperature settings automatically for energy savings. Client is suggested to find out more about this thermostat and verify whether this thermostat will stay with the home.

HVAC FILTERS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The filters appear serviceable. No concerns were noted. Client is encouraged to change the filters regularly. Regular filter changing helps to maintain clean HVAC equipment, cleaner air ducts, and reduced dirt and dust inside the home. Consider using good quality filters. Good filter choices include a pleated filter or larger media filter that provides more surface area for improved air cleaning. Look for filters with a higher micro-particle performance rating (800 and up), and a higher MERV rating (Minimum Efficiency Reporting Value - 8 to 10 and up).

HVAC DUCTING:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• Flexible Round HVAC ducting is present;

• The interior of HVAC ducts are very dirty; professional duct cleaning is recommended.

RADON / MOLD / ASBESTOS / LEAD PAINT

RADON:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

RADON TEST RECOMMENDED:

According to the Environmental Protection Agency (EPA), this home is located in one of the four (4) Georgia counties that the EPA lists as having a "High Probability" of radon gas. The EPA Georgia county map identifies Gwinnett, Cobb, DeKalb and Fulton counties as red or "High Probability". Because this home may have a higher risk of radon gas entry, further evaluation is recommended. Ask the home seller if there has been any recent radon testing of the home. If no recent radon information is available, then a current radon screening is recommended.

Visit www.epa.gov/radon for more information on radon gas, radon testing and a view of the Georgia county map - <http://www.epa.gov/radon/zonemap.html> .

WE CAN HELP! Atlanta Property Inspections, Inc can conduct professional radon screening, for an additional fee. The radon screening consists of placement of a continuous radon monitor, usually in the lowest available living space such as a basement or first floor room. The radon monitor takes hourly radon readings during the 48 hour testing period, and an overall radon average will be calculated. The EPA strongly recommends that steps be taken to reduce indoor radon, with a professionally installed radon mitigation system, when test results are 4.0 pCi/L (picocuries per liter of radon in air) or higher. The average cost of a radon mitigation system is usually between \$1500 and \$2000.

Client was made aware that Radon testing is available as an additional inspection service that could be provided at the time of this home inspection. Client has declined a radon test at this time.

MOLD:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

No suspected mold or fungus was observed during this very limited visual inspection at the time of this home inspection.

MOLD AND THE INSPECTION:

This is a limited home inspection and is NOT A MOLD INSPECTION. We are not inspecting for mold and we are not responsible or liable for any mold that may be present in this home. We may mention visible mold as a courtesy when the suspected mold is detected during the course of our normal home inspection procedures.

For a thorough and in-depth evaluation of the possible presence of mold, we strongly advise a mold test that includes mold air testing / sampling and lab analysis of those air samples.

ASBESTOS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

No obvious asbestos materials were noted during this limited visual inspection of readily accessible areas. Because this home was built after asbestos was commonly used (prior to mid 1980's), it is unlikely that any asbestos materials are present.

Please visit <http://www.epa.gov/asbestos> for more information on asbestos materials.

LEAD BASED PAINT:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Because this home is newer and was NOT constructed prior to 1978, it is unlikely that lead based paint (LBP) is present. According to the Environmental Protection Agency (EPA), homes built prior to 1978 have a higher risk of having LBP in the home. For more information regarding LBP, call the National Lead Information Clearinghouse at 800.424.LEAD or visit <http://www.epa.gov/lead> .

Glossary

Term	Definition
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.