

# Atlanta Property Inspections, Inc. HOME INSPECTION REPORT



**2560 Highland Pointe Drive, Cumming, GA 30041**

**Inspection prepared for: Jamie Farmer & Kathy Farmer**

**Date of Inspection: 1/30/2020 Time: 1:00 PM**

**Age of Home: 26 Years old (1994) Size: 3500 SF**

**Weather: Sunny, Dry Soil, 50 Degrees**

**Inspector: Frank Cooper**

**ASHI Certified Inspector**

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**[www.Inspect-Atlanta.com](http://www.Inspect-Atlanta.com)**



# INSPECTION SUMMARY:

<b>EXTERIOR GROUNDS:</b>		
Page 15	<b>EXTERIOR DRAINAGE:</b>	<ul style="list-style-type: none"> <li>• Inadequate clearance of wood to soil was observed at the front garage. The grade / soil / stones are too high above the bottom of the stud wall which is not recommended. This condition can lead to water damage issues with the wood and can attract termite activity to this location if not corrected. It was noted thsat water stains are present at the lower wall inside the garage - see Garage section of this report.</li> <li>Generally accepted building practices call for a clearance of 6 inches between wood materials and the soil and 4 inches of clearance to exterior wall cladding. Due to this concern, it is recommended that the soil be regraded and lowered to meet as much of the 6 inch clearance as possible and to provide adequate slope for proper drainage.</li> </ul>
Page 15	<b>DRIVEWAY / SIDEWALK:</b>	<ul style="list-style-type: none"> <li>• 1. The driveway and sidewalk both have surface damaged concrete , it appears that the concrete surfaces were covered with a skim coat of additional concrete which has since peeled off (see photo). Although the driveway is functional, future concrete repairs may be needed. Further evaluation is recommended by a concrete contractor to determine the full scope and cost of repair.</li> <li>2. Cracked and damaged concrete is present at the rear driveway parking pad (see photo). Repair is suggested but is not considered to be a critical repair.</li> </ul>
Page 16	<b>FENCING / VEGETATION:</b>	<ul style="list-style-type: none"> <li>• The rear yard has leaning sections of fencing at the gate area behind the driveway as well as the rear corner of the yard (see photos). The rear corner yard has openings that could let dogs out of the yard if dogs are present. Repair or replacement of the affected fencing is recommended.</li> </ul>
Page 17	<b>RETAINING WALL:</b>	<ul style="list-style-type: none"> <li>• The concrete block retaining wall is incorrectly built - the wall has no structural footing below the blocks, and the wall was constructed with dry blocks with no mortar between the blocks. In addition, there are voids below the wall confirming the lack of a proper footing (see photos). Due to this concern, further evaluation is recommended by a professional retaining wall contractor to determine the full scope of repair or replacement needs and costs.</li> </ul>

<p>Page 18</p>	<p><b>PORCH:</b></p>	<ul style="list-style-type: none"> <li>• The rear screened porch appears serviceable, except as listed below:             <ol style="list-style-type: none"> <li>1. The porch joists are supported by a small 2x2 ledger strip; the ledger strip is not adequately nailed. Recent nailing standards call for at least 3 nails on the ledger strip below each joist to support the weight at this location. Correction is recommended to fully nail the 2x2 strip below each joist. For even better support, installation of joist hangers is suggested instead of the 2x2 ledger strip.</li> <li>2. The screened porch does not include any screening below the porch floor; this condition can still allow insects into the porch. Correction is recommended so that the porch is fully screened.</li> </ol> </li> </ul>
<p>Page 18</p>	<p><b>DECK / PORCH SUPPORT:</b></p>	<ul style="list-style-type: none"> <li>• <b>SUPPORT CONCERN:</b> Two of the screened porch support posts have concrete footings that have severe soil erosion at the footings (see photo); this condition can lead to destabilization of the support footings. Repair is advised.</li> </ul>
<p>Page 19</p>	<p><b>EXTERIOR STAIRS:</b></p>	<ul style="list-style-type: none"> <li>• The following stairway concerns were noted:             <ol style="list-style-type: none"> <li>1. <b>SAFETY CONCERN:</b> The stairs have an open railing at one side and does not meet current safety standards that call for both sides to have railings (see photo); correction is advised.</li> <li>2. No stairway landing is present at the bottom of these stairs as required, correction is recommended so that a minimum 3 foot landing is present on the ground at the bottom of the wood steps.</li> <li>3. The lower portion of the stairway has poorly built small wood timbers holding back soil, stones, and gravel. The bottom area of this stairway has moved and has shifted due to soil erosion (see photo). This condition is a safety concern due to unstable footing. Replacement of this lower stairway is advised.</li> </ol> <p>Due to these concerns, further evaluation is recommended by a professional stairway contractor to determine the full scope of repair or replacement needs and costs.</p> </li> </ul>

**EXTERIOR WALLS:**

<p>Page 23</p>	<p><b>EXTERIOR WALLS:</b></p>	<p><b>• STUCCO CONCERNS:</b></p> <ol style="list-style-type: none"> <li>1. Kickout flashing is missing at the garage roof, gutter and stucco wall at the dining room (see photo); this condition is a potential leak concern. Further evaluation and correction is recommended by a professional stucco repair contractor.</li> <li>2. The stucco is below grade at the front garage wall; this condition is no longer allowed and may affect clients ability to obtain a termite bond now or in the future. Further evaluation is recommended by a professional stucco repair contractor to determine the full scope of repair needs and costs.</li> </ol> <p><b>SIDING CONCERNS:</b> The LP wood fiber siding is in poor condition - the siding has minor to moderate moisture swelling at most locations and more severe water damage at other locations.</p> <ol style="list-style-type: none"> <li>1. <b>LEFT WALL:</b> The left side garage wall has moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board <b>drip edges</b> (see photo); many boards should be considered for replacement.</li> <li>2. <b>REAR WALL:</b> The rear screened porch wall has moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board drip edges (see photo); many boards should be considered for replacement.</li> <li>3. <b>REAR WALL:</b> The rear family room wall and bedrooms all have moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board drip edges (see photo); some boards have more severe damage (see photos); many boards should be considered for replacement.</li> <li>4. <b>CHIMNEY:</b> The chimney has moderate levels of moisture damage; many boards should be considered for replacement.</li> </ol> <p>Due to the extent of moisture damage, further evaluation is advised by a professional siding replacement contractor to determine the full scope of repair needs and costs. Budget for a major repair.</p>
<p>Page 24</p>	<p><b>EXTERIOR TRIM:</b></p>	<p><b>• Damaged wood trim was noted at the following exterior locations:</b></p> <ol style="list-style-type: none"> <li>1. Damaged wood trim was noted at the exterior door jamb of the rear basement door just above the threshold (see photo). Replacement of the damaged wood is recommended.</li> <li>2. Insect / carpenter bee damage is visible at the rear windows at the upper master bathroom (see photo); replacement of the damaged wood is recommended.</li> </ol>

**GARAGE:**

Page 28	<b>GARAGE:</b>	<ul style="list-style-type: none"> <li>• There is evidence of moisture entry in the garage at the front garage wall. Further evaluation is recommended to determine the source of this water entry and to make necessary repairs.</li> </ul>
Page 29	<b>GARAGE DOOR:</b>	<ul style="list-style-type: none"> <li>• 1. Damaged trim was noted at the exterior front corner of the garage doorway; replacement of the damaged trim is recommended.</li> <li>2. The bottom of the overhead garage door has a portion of missing rubber weather-stripping that does not allow the door to fully seal at the concrete floor. A minor repair is suggested to fully seal the doorway from water entry.</li> </ul>

**BASEMENT FOUNDATION:**

Page 32	<b>RODENTS:</b>	<ul style="list-style-type: none"> <li>• Evidence of rodent activity was noted in the basement below the stairway, observations include:             <ol style="list-style-type: none"> <li>1. Rodent droppings are visible on the floor below the stairway as well as on top of the metal security system box (see photos). This is an unsanitary condition; removal of all rodent droppings is recommended.</li> <li>2. Chewed electrical wiring was noted at the romex electrical wire below the stairway (see photo). Damaged electrical wiring is an unsafe condition and is a potential fire hazard. Further evaluation is advised by a licensed electrician; all damaged wiring should be repaired or replaced.</li> </ol> </li> </ul> <p>Due to the evidence of rodent activity noted above, it is recommended that further evaluation be conducted by a professional wildlife or pest control contractor, prior to closing, to perform a full rodent infestation inspection, and to determine the full extent of rodent exclusion needs and costs, if needed. It is understood that this type of specialized inspection may identify other infestation issues not identified or mentioned in this inspection report. All potential rodent entry access points should be sealed to prevent future rodent entry. In many cases, this type of service can develop into a major expense depending upon the amount of work needed.</p>
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**ATTIC:**

Page 34	<b>ATTIC INSULATION:</b>	<ul style="list-style-type: none"> <li>• Missing batt insulation was noted over portions of the vertical wall in the attic space that adjoins the master bedroom and the nearby front bedroom (see photo). Bare sheetrock is present which will lead to an excessive amount of heat loss in winter and heat gain in the summer months. Correction is recommended.</li> <li>• <b>UPGRADE SUGGESTED - ATTIC INSULATION:</b> Inadequate insulation was noted in the attic, the insulation depth is less than 12 inches, or R-30. This condition does not meet current insulation and energy efficiency standards that call for a rating of R-30. For improved comfort and energy efficiency, it is recommended that the attic insulation be upgraded to meet this current standard.</li> </ul>
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<p>Page 36</p>	<p><b>ATTIC RODENTS:</b></p>	<p><b>• RODENT ACTIVITY NOTED:</b>                  There is evidence of rodent activity in the attic:                  1. Disturbed attic insulation was noted in the attic along with visible rodent trails in the insulation (see photo).                  2. <b>UNSAFE CONDITION:</b> Chewed electrical wiring was noted in the attic above the front master bedroom (see photo). Damaged electrical wiring is an unsafe condition and could develop into a potential fire hazard. Further evaluation is advised by a licensed electrician to determine the full scope of repair needs and costs; it is our opinion that all damaged wiring should be replaced.</p> <p>Due to the evidence of rodent activity noted above, it is recommended that further evaluation be conducted by a professional wildlife control contractor to determine the full extent of rodent exclusion needs and costs. All potential rodent entry access points should be sealed to prevent future rodent entry. In many cases, this type of repair can develop into a major expense depending upon the amount of work needed.</p>
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**INTERIOR:**

<p>Page 37</p>	<p><b>EXTERIOR DOORS:</b></p>	<p>• The exterior door weatherstripping is missing or is incomplete at the basement entry door. Daylight is visible, air infiltration is occurring, and there is evidence of previous water entry at this location; a minor repair is suggested to fully seal the doorway.</p>
<p>Page 37</p>	<p><b>INTERIOR DOORS:</b></p>	<p>• An interior door at the laundry room rubs the door frame and is difficult to fully close. Repair / adjustment is suggested.</p> <p>• A door stop is missing at the garage entry door hinge. This condition has allowed the door knob to damage the closet door behind it. Installation of a doorstop is recommended to prevent further damage.</p>

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**WINDOWS:**

**• THE FOLLOWING CONCERNS WERE NOTED AT THE WINDOWS:**

1. Moisture and/or foggy residue was observed inside the dual pane glass at the following locations:

- A. The left family room window at the center row;
- B. The right family room window at the bottom row;
- C. The window to the right of the family room fireplace;
- D. The 3 side windows in the bedroom above the den;
- E. The center and left rear windows at the master bedroom;
- F. The front radial window at the master bedroom;

A total of 9 windows are affected.

This condition indicates a defective thermal seal inside the dual pane glass and is most often corrected by replacement of the glass panel or the full window. This condition can become a major expense when multiple windows are affected or when larger windows are involved. Further evaluation is recommended by a professional window replacement contractor to determine the full extent of repair needs and costs.

**NOTE:** We can not always identify all windows with a defective thermal seal due to weather, furniture obstructions, and other conditions that may affect our access to the window or our visibility of the glass. It is possible that other defective windows may be present as well that were not identified in this report. For this reason, we recommend that all windows be checked by the window repair contractor to fully evaluate the total number of windows that need repair or replacement.

2. The exterior coatings of the center dining room window and the right window in the bedroom above the dining room appear to be defective - the surface of the glass has a splotchy / streaky appearance that is not considered normal and can not be removed with cleaning. Although the windows appear to be operating normally, this is a noticeable cosmetic defect.

3. Defective window balances were found at the left and right eat-in kitchen windows. The windows will not stay in the up position and fall down when opened.

4. Severe water damage was noted at the window sills of the rear master bedroom windows (see photos). Inadequate caulk patch repairs are present, the repairs are soft and damaged wood is still present. Based on the extent of water damage, it appears that the windows will need full replacement.

Due to these concerns, further evaluation is advised by a professional widow repair / replacement contractor to determine the full scope of repair needs and costs.

		Budget for a major repair.
Page 40	<b>FLOORS:</b>	<ul style="list-style-type: none"> <li>Excessive floor squeaking was noted in front of the ovens and at the corner of the kitchen island. This condition is an indication that the floor is not properly secured to the subfloor below. Further evaluation is recommended by a professional flooring contractor to determine the full extent of repair needs.</li> </ul>
<b>KITCHEN:</b>		
Page 41	<b>STOVE / OVEN / COOKTOP:</b>	<ul style="list-style-type: none"> <li>The center gas cooktop burner does not evenly distribute the flame; this condition appears to be caused by a dirty burner. Cleaning is recommended.</li> <li>The center gas cooktop burner operating knob appears to be defective. The igniter continues to click when the burner is on. Further evaluation and repair is recommended by a professional appliance repair contractor.</li> </ul>
<b>BATHROOMS / LAUNDRY</b>		
Page 43	<b>BATH SINKS:</b>	<ul style="list-style-type: none"> <li>The basement bathroom cabinet is loose and is not properly anchored to the floor or wall as needed to reduce stress to the plumbing pipes. Correction is advised to fully secure and anchor the sink cabinet.</li> </ul>
Page 43	<b>BATH TOILETS:</b>	<ul style="list-style-type: none"> <li>The toilet in the first floor half bathroom is loose at the floor; this condition is a leak concern. A loose toilet can also be an indication that the toilet flange is damaged and may need replacement. Further evaluation is recommended by a professional plumber to determine the full scope of repair needs.</li> <li>The toilet tank is loose at the master bathroom. The tank excessively moves where the tank connects to the bowl. Further evaluation and repair is recommended by a professional plumber.</li> </ul>
Page 44	<b>BATH TUBS / SHOWERS:</b>	<ul style="list-style-type: none"> <li>The following concerns were noted with the bathtubs / showers:                             <ol style="list-style-type: none"> <li>Low water flow was found at the master shower. This condition appears to be caused by a defective shower head. Replacement of the shower head is recommended.</li> <li>The handle at the master shower does not have a proper stop and turns in a complete circle; it is difficult to determine the correct temperature positions.</li> <li>The supply piping behind the second floor hall shower moves excessively when the shower handle is used. This is an indication that the piping is not properly secured behind the wall.</li> <li>A minor porcelain chip was found at the floor of the second floor hallway bathtub. Repair is recommended by a professional bathtub repair contractor.</li> </ol> </li> </ul> <p>Due to these concerns, further evaluation is recommended by a professional plumber to determine the full scope of repair costs and needs.</p>



Page 45	<b>BATHROOM VENTILATION:</b>	<ul style="list-style-type: none"> <li>• The basement bathroom exhaust fan makes a loud and unusual noise when turned on; repair or replacement is recommended.</li> </ul>
Page 45	<b>LAUNDRY:</b>	<ul style="list-style-type: none"> <li>• Improper laundry dryer ducting was noted - the original metal dryer duct above the roof has a missing vent cap and appears to have been taped and sealed above the roof (see photo). A vinyl duct is visible in the attic at this location and may be the newer dryer duct but could not be confirmed. Due to fire safety concerns, the dryer duct is not allowed to be vinyl and is required to be a metal duct at this location. Further evaluation and repair is recommended, so the dryer duct is a rigid metal duct.</li> </ul>

**WATER HEATER:**

Page 48	<b>WATER HEATER:</b>	<ul style="list-style-type: none"> <li>• <b>BUDGET FOR REPLACEMENT:</b> Due to the advanced age of this aging gas water heater, client should budget for replacement of the water heater tank soon. The water heater tank is at, or past, the normal expected lifespan of 10 years.</li> </ul> <p><b>CLIENT NOTE - BE AWARE:</b> Because of newer standards and building codes that affect water heaters, the cost of water heater replacement has gone up significantly and may be more than most people are expecting. Plumbers may tell you that there are "code violations" that need to be addressed during tank replacement. Beware of big box stores and larger plumbing companies that will upcharge for many additional items, some that may not be necessary or required. Some newer gas tanks will need additional electrical wiring for condensing fans and may require other installation modifications.</p> <p>For these reasons, newer water heater tanks will cost more than replacing water heaters in the past - client should budget for a major expense. It is strongly suggested that client get multiple quotes and check pricing before committing to a new tank.</p>
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**ELECTRICAL SYSTEM:**

Page 49	<b>ELECTRICAL WIRING:</b>	<ul style="list-style-type: none"> <li>• Two open junction boxes were noted at the basement mechanical room (see photo); the wires are exposed. A minor repair is suggested - install an approved junction box cover so that the wiring splices are fully enclosed.</li> </ul>
Page 50	<b>RECEPTACLES:</b>	<ul style="list-style-type: none"> <li>• A loose outlet was found at the kitchen countertop above the dishwasher. Correction is recommended to fully secure the outlet.</li> </ul>

<p>Page 51</p>	<p><b>FIRE SAFETY:</b></p>	<p><b>• SAFETY CONCERN:</b>                  The smoke detectors appear to be hard wired but are not activating together when tested. This condition is a potential safety hazard, all detectors should activate together when one is tested.                  This condition may be related to a bad smoke detector in the home or one that is unplugged from the electrical harness at the detector. Due to this concern, a licensed electrician is advised for further evaluation and correction so that all smoke detectors activate together when tested.</p>
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**HEATING:**

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**HEATING 1:**

**• AGING EQUIPMENT:**

**HEAT EXCHANGER INSPECTION ADVISED:**

Due to the advanced age of the system, a full heat exchanger inspection is advised by a professional HVAC contractor and to provide written certification that the heat exchanger is in good working condition and is safe to operate. Additional heat exchanger inspections are advised each year for as long as this older furnace is in service.

**BUDGET FOR REPLACEMENT:**

Due to the advanced age of this heating system, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the heating system is at or past the normal expected lifespan of 15-20 years.

Consider these cost saving strategies when replacing HVAC equipment:

**1. MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates:

<http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates:

<http://m.lennox.com/promotions/national.asp>

Trane Rebates:

<http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

**2. UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

**3. TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

**4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.

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**HEATING 2:**

• The blower motor is dirty and has excessive dust and debris. It is recommended that the blower motor be cleaned / serviced by a professional HVAC contractor. In addition, it is recommended that the evaporator coils be checked for cleaning needs as well.

• **AGING EQUIPMENT:**

**HEAT EXCHANGER INSPECTION ADVISED:**

Due to the advanced age of the system, a full heat exchanger inspection is advised by a professional HVAC contractor and to provide written certification that the heat exchanger is in good working condition and is safe to operate. Additional heat exchanger inspections are advised each year for as long as this older furnace is in service.

**BUDGET FOR REPLACEMENT:**

Due to the advanced age of this heating system, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the heating system is at or past the normal expected lifespan of 15-20 years.

Consider these cost saving strategies when replacing HVAC equipment:

**1. MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates:

<http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates:

<http://m.lennox.com/promotions/national.asp>

Trane Rebates:

<http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

**2. UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

**3. TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

**4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.

**AIR CONDITIONING:**

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**AC UNIT 1:**

**• LIMITED INSPECTION:**  
 We are unable to inspect the cooling system due to cold weather. The outside temperatures have dropped below 60 degrees during the day or during the previous overnight hours. Due to concerns regarding possible damage to the unit, the air conditioner was not operated and could not be fully inspected during this cold weather inspection. This inspection is limited to a visual inspection and a quick start up to insure the unit is functional.

**• AGING EQUIPMENT - BUDGET FOR REPLACEMENT:**  
 Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

- 1. MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:  
 Carrier Rebates:  
<http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>  
 Lennox Rebates:  
<http://m.lennox.com/promotions/national.asp>  
 Trane Rebates:  
<http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>  
 York Rebates: <http://york.com/residential/promotions-savings/default.aspx>
- 2. UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment
- 3. TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.
- 4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.

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**AC UNIT 2:**

**• LIMITED INSPECTION:**  
 We are unable to inspect the cooling system due to cold weather. The outside temperatures have dropped below 60 degrees during the day or during the previous overnight hours. Due to concerns regarding possible damage to the unit, the air conditioner was not operated and could not be fully inspected during this cold weather inspection. This inspection is limited to a visual inspection and a quick start up to insure the unit is functional.

**• AGING EQUIPMENT - BUDGET FOR REPLACEMENT:**  
 Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

**1. MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:  
 Carrier Rebates:  
<http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>  
 Lennox Rebates:  
<http://m.lennox.com/promotions/national.asp>  
 Trane Rebates:  
<http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>  
 York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

**2. UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

**3. TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

**4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.

**THERMOSTATS / FILTERS / DUCTING:**

<p>Page 61</p>	<p><b>THERMOSTATS:</b></p>	<ul style="list-style-type: none"> <li>• The basement HVAC system has been ducted off the first floor HVAC which is not advised. This condition has two performance issues:             <ol style="list-style-type: none"> <li>1. It is possible that the original first floor HVAC system was not sized to accommodate the additional finished space in the basement which could lead to poor performance issues on both floors.</li> <li>2. The basement level does not have thermostatic controls and is relying on the first floor thermostat. This condition creates cooler temps in the basement year round, not enough heat in winter, too much AC in the summer.</li> </ol> </li> </ul> <p>Further evaluation is recommended by a professional HVAC contractor to determine if this single HVAC system is adequately sized and ducted to meet the heating and cooling needs of these two floor spaces. In addition, client may want to upgrade to a dual thermostat system so that the basement has its own thermostat with dampered ducts that open and close as needed.</p>
<p>Page 62</p>	<p><b>HVAC DUCTING:</b></p>	<ul style="list-style-type: none"> <li>• The interior of HVAC ducts are very dirty; professional duct cleaning is recommended.</li> <li>• <b>FIRST FLOOR DUCTING:</b> A large hole was noted in the HVAC flex duct to the kitchen as viewed from the basement mechanical room (see photo). A large amount of air leakage was noted, a minor repair is suggested to fully seal the duct.</li> <li>• <b>BASEMENT DUCTING:</b> The basement has been poorly ducted:             <ol style="list-style-type: none"> <li>A. The basement bathroom has no delivery vent or source of heat as needed;</li> <li>B. The delivery vents in the basement are not located at the exterior walls, as is customary, and are installed at center locations in the room. This condition may cause the perimeter of the rooms to not get adequate air flow.</li> </ol> </li> </ul> <p>Further evaluation is suggested by a professional HVAC contractor to determine the full scope of repair / adjustment needs.</p>

# EXTERIOR GROUNDS:

## EXTERIOR DRAINAGE:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The overall slope of the yard is moderate;**

• **Inadequate clearance of wood to soil was observed at the front garage. The grade / soil / stones are too high above the bottom of the stud wall which is not recommended. This condition can lead to water damage issues with the wood and can attract termite activity to this location if not corrected. It was noted thsat water stains are present at the lower wall inside the garage - see Garage section of this report. Generally accepted building practices call for a clearance of 6 inches between wood materials and the soil and 4 inches of clearance to exterior wall cladding. Due to this concern, it is recommended that the soil be regraded and lowered to meet as much of the 6 inch clearance as possible and to provide adequate slope for proper drainage.**



Soil and stones are too high above siding and trim



Soil and stones are too high above siding and trim

## DRIVEWAY / SIDEWALK:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

• **A concrete driveway and sidewalk are present.**

- **1. The driveway and sidewalk both have surface damaged concrete , it appears that the concrete surfaces were covered with a skim coat of additional concrete which has since peeled off (see photo). Although the driveway is functional, future concrete repairs may be needed. Further evaluation is recommended by a concrete contractor to determine the full scope and cost of repair.**
- **2. Cracked and damaged concrete is present at the rear driveway parking pad (see photo). Repair is suggested but is not considered to be a critical repair.**





Damaged concrete at driveway parking pad

### FENCING / VEGETATION:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• A wood fence is present.

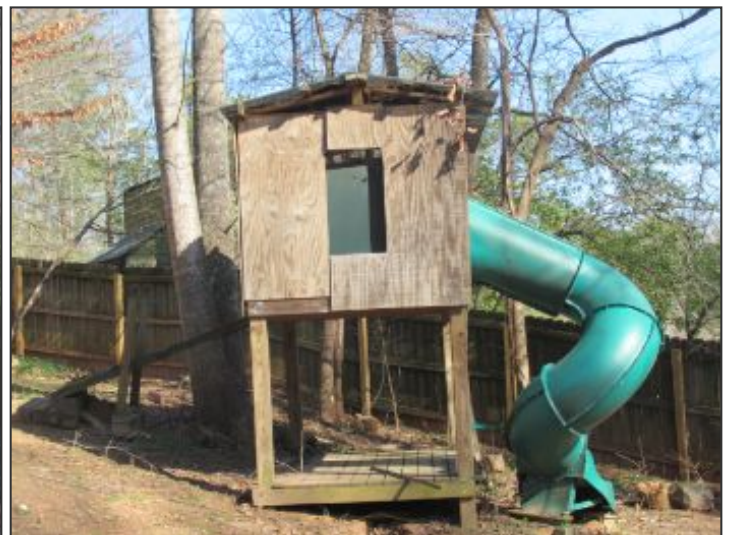
• **CLIENT NOTE:** The playground equipment at the rear yard and its components are not within the scope of this inspection. Further evaluation is recommended.

• **The overall condition of the exterior grounds and vegetation appears to be adequately maintained, no concerns were observed.**

• The rear yard has leaning sections of fencing at the gate area behind the driveway as well as the rear corner of the yard (see photos). The rear corner yard has openings that could let dogs out of the yard if dogs are present. Repair or replacement of the affected fencing is recommended.



Leaning fencing at rear corner yard



Playhouse not inspected



Openings at rear corner fencing

### RETAINING WALL:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• A concrete block retaining wall is present below ther screened porch;

• The concrete block retaining wall is incorrectly built - the wall has no structural footing below the blocks, and the wall was constructed with dry blocks with no mortar between the blocks. In addition, there are voids below the wall confirming the lack of a proper footing (see photos). Due to this concern, further evaluation is recommended by a professional retaining wall contractor to determine the full scope of repair or replacement needs and costs.



Retaining wall below rear porch



Retaining wall has no mortar and no footings

**PORCH:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- A concrete porch is present at front entry
- A screened porch is present at rear entry

• **The front porch appears serviceable, no concerns were noted.**

• **The rear screened porch appears serviceable, except as listed below:**  
 1. The porch joists are supported by a small 2x2 ledger strip; the ledger strip is not adequately nailed. Recent nailing standards call for at least 3 nails on the ledger strip below each joist to support the weight at this location. Correction is recommended to fully nail the 2x2 strip below each joist. For even better support, installation of joist hangers is suggested instead of the 2x2 ledger strip.

2. The screened porch does not include any screening below the porch floor; this condition can still allow insects into the porch. Correction is recommended so that the porch is fully screened.



View of screened porch



Joist hangers are recommended at porch

**DECK / PORCH SUPPORT:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **Wood support posts are present - 6X6.**

• **SUPPORT CONCERN:**

Two of the screened porch support posts have concrete footings that have severe soil erosion at the footings (see photo); this condition can lead to destabilization of the support footings. Repair is advised.



Severe soil erosion at porch support footings    Severe soil erosion at porch support footings

**EXTERIOR STAIRS:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Wood steps are present at the left side yard below the screened porch.

• The following stairway concerns were noted:

1. **SAFETY CONCERN:** The stairs have an open railing at one side and does not meet current safety standards that call for both sides to have railings (see photo); correction is advised.

2. No stairway landing is present at the bottom of these stairs as required, correction is recommended so that a minimum 3 foot landing is present on the ground at the bottom of the wood steps.

3. The lower portion of the stairway has poorly built small wood timbers holding back soil, stones, and gravel. The bottom area of this stairway has moved and has shifted due to soil erosion (see photo). This condition is a safety concern due to unstable footing. Replacement of this lower stairway is advised.

Due to these concerns, further evaluation is recommended by a professional stairway contractor to determine the full scope of repair or replacement needs and costs.



**Unsafe condition at rear stairs - missing railings**



**Unsafe condition: damaged and loose timbers at bottom of stairs**

# EXTERIOR WALLS:

**EXTERIOR WALLS:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Hardcoat Stucco is present on the front exterior wall. This wall system consists of a thick wire lathe with approximately a 1/2 inch coating of Portland cement typically applied in three coats.

**LIMITED INSPECTION:** Stucco is a specialized product that, due to many issues related to water leakage concerns and installation problems, should be professionally evaluated and inspected by a stucco professional contractor during the home buyer's / client's due diligence period.

A limited visual inspection will be included in this report but will not include any moisture probing or scanning of the stucco wall system. Any issues mentioned in this report should be further evaluated by a professional stucco repair contractor.

Wood fiber siding is present at three exterior walls. Based on the siding board size, flat **drip edge**, and the LP signature knot imprint pattern, this siding appears to be Louisiana Pacific siding. This type of siding has a history of product defect claims and class action litigation and is no longer used due to concerns with moisture damage.

**• STUCCO CONCERNS:**

1. Kickout flashing is missing at the garage roof, gutter and stucco wall at the dining room (see photo); this condition is a potential leak concern. Further evaluation and correction is recommended by a professional stucco repair contractor.
2. The stucco is below grade at the front garage wall; this condition is no longer allowed and may affect clients ability to obtain a termite bond now or in the future. Further evaluation is recommended by a professional stucco repair contractor to determine the full scope of repair needs and costs.

**SIDING CONCERNS:**

The LP wood fiber siding is in poor condition - the siding has minor to moderate moisture swelling at most locations and more severe water damage at other locations.

1. **LEFT WALL:** The left side garage wall has moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board drip edges (see photo); many boards should be considered for replacement.
2. **REAR WALL:** The rear screened porch wall has moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board drip edges (see photo); many boards should be considered for replacement.
3. **REAR WALL:** The rear family room wall and bedrooms all have moderate levels of moisture damage, moisture swelling and black mildew growth were noted at the siding board drip edges (see photo); some boards have more severe damage (see photos); many boards should be considered for replacement.
4. **CHIMNEY:** The chimney has moderate levels of moisture damage; many boards should be considered for replacement.

Due to the extent of moisture damage, further evaluation is advised by a professional siding replacement contractor to determine the full scope of repair needs and costs. Budget for a major repair.



Moisture damaged siding boards above garage doorway



No kickout flashing at stucco wall and roof



LP signature knot imprint on siding boards



Damaged siding at rear porch wall





Damaged siding at rear family room



Damaged siding at rear wall

**EXTERIOR TRIM:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood trim is present; the overall condition of the exterior trim appears serviceable except as noted below:**

• **Damaged wood trim was noted at the following exterior locations:**  
1. **Damaged wood trim was noted at the exterior door jamb of the rear basement door just above the threshold (see photo). Replacement of the damaged wood is recommended.**

2. **Insect / carpenter bee damage is visible at the rear windows at the upper master bathroom (see photo); replacement of the damaged wood is recommended.**



Insect damage at rear master bath windows



Water damaged trim at basement entry door

**FASCIA / SOFFIT:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood soffit / fascia are are present. The exterior soffit / fascia appears serviceable; no concerns were noted.**

**PAINTING / CAULKING:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The overall condition of the exterior painting and caulking appears to be adequate, continue to maintain as needed.

# ROOF, GUTTERS, CHIMNEY:

## ROOF DESCRIPTION / ACCESS:

OK
  Minor
  Moder
  Major
  Recom

• **ROOF DESCRIPTION:** Intersecting gable style roof, Steep pitch, Unknown Age

• **POSITIVE FEATURE!**

This roof has architectural or profile shingles; this attractive and slightly more expensive shingle is a significant upgrade from traditional roof shingles. It also has a longer warranty period of 25-35 years and should provide an extended lifespan when compared to traditional roof shingles. This type of shingle also performs better in storms and when exposed to hail.

• **ROOF INSPECTION ACCESS:** The inspector walked on the lower roof and viewed the upper roof from the ground with binoculars.



Architectural shingles are present

## ROOF:

OK
  Minor
  Moder
  Major
  Recom

• **The roof appears serviceable and within its normal useful life. No concerns were noted with shingles, flashings and valley.** Continue to monitor the roof for any changes. Annual inspections are suggested, particularly after heavy storms and high winds.

## ROOF FLASHING:

OK
  Minor
  Moder
  Major
  Recom

• **Metal roof flashing is present; the visible roof flashings appear serviceable; no concerns were noted.**

• **Black vinyl boots are present at the plumbing vent stacks. The visible roof flashings appear serviceable; no concerns were noted.**

### GUTTERS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Aluminum gutters and downspouts are present. The gutters appear to be in good working condition; continue to monitor and clean as needed.**

### CHIMNEY:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **A wood frame chimney is present with wood siding.**

• **The chimney appears serviceable; no concerns were observed.**

# GARAGE:

## GARAGE:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

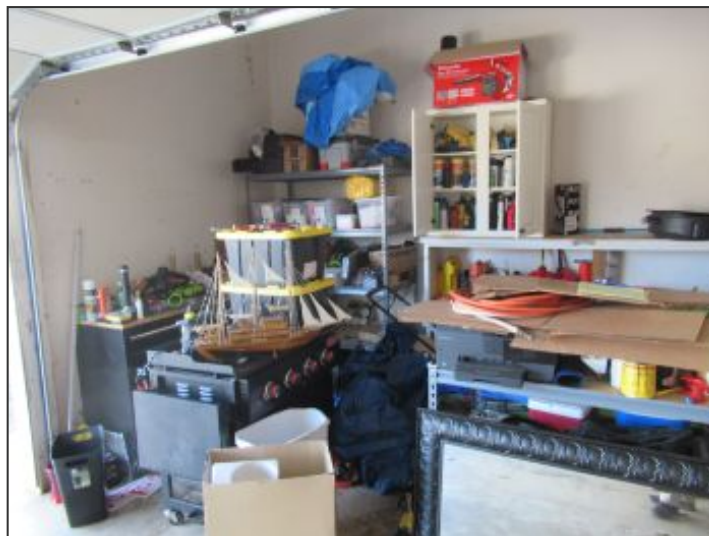
- **An attached two car garage is present.**
- **Storage obstructions in the garage restrict full visibility of the floor and lower walls, unable to fully inspect. Further evaluation is recommended after the storage items have been removed.**
- **There is evidence of moisture entry in the garage at the front garage wall. Further evaluation is recommended to determine the source of this water entry and to make necessary repairs.**



Signs of water entry at front garage wall, damaged baseboard



Water staining at front garage wall



Storage obstructions in garage restrict full access

**GARAGE DOOR:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

A single metal overhead door is present. The garage door appears serviceable; no concerns were noted, except as listed below:

**GOOD NEWS!**

The garage overhead door has been replaced with a newer metal overhead door.

- 1. Damaged trim was noted at the exterior front corner of the garage doorway; replacement of the damaged trim is recommended.
- 2. The bottom of the overhead garage door has a portion of missing rubber weather-stripping that does not allow the door to fully seal at the concrete floor. A minor repair is suggested to fully seal the doorway from water entry.

**OVERHEAD DOOR OPENER:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The overhead door opener was tested and was found to be operating normally. The auto safety reverse feature of the door opener was successfully tested.**

**GARAGE FIRE SEPARATION:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**The garage fire separation looks good - the garage walls, ceilings, and the entry door appear to meet current fire safety separation standards.**

# BASEMENT FOUNDATION:

## BASEMENT:

OK
  Minor
  Moder
  Major
  Recom

• A basement is present and has been finished into living space; the basement is constructed with poured concrete walls.

**LIMITED INSPECTION:** The finished walls, ceilings and floors in the basement do not allow for full visibility of the framing and structural components. This inspection is limited to visible and accessible areas of the basement only.

• A water proofing drainage system is present at the front foundation wall below the dining room (see photo). Due to the underground nature of the system, the adequacy of this basement drainage system can not be determined during this limited visual inspection. It is recommended that client ask the home seller for more information regarding this system including warranty status.



Professional water proofing system at front basement

## FRAMING WALLS:

OK
  Minor
  Moder
  Major
  Recom

• Stud Walls are present - 2X6 studs spaced 16" on center.

• Wood Beams and assorted window and doorway headers are present. Appears serviceable; no beam or header concerns were noted.

• The basement framing (stud walls, beams and doorway and window headers) appears serviceable, no concerns were noted.

• **LIMITED INSPECTION:** The basement wall framing (studs, beams and headers) is not fully visible for inspection due to the finished basement. A few representative areas were visible for inspection but not all areas of the wall framing could be evaluated.

**FLOOR SYSTEM:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **2 X10 floor joists are present; the floor joists appear to be serviceable, no concerns were noted.**

• **LIMITED INSPECTION**

**Due to the finished basement, the floor joists are not fully visible for inspection. A few representative areas were visible for inspection but not all areas of the floor system could be evaluated.**

**FIRESTOPPING / INSULATION:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Fire stopping of basement walls and floors appears to be adequate.**

**A NOTE ABOUT FIRESTOPPING:**

**Current building codes require firestopping between floor levels to help prevent the spread of fire and to increase response time for the homeowner. All openings such as drain penetrations, HVAC ducting, plumbing and gas piping are all required to be sealed with wood, sheet metal or in some cases 16 inches of unfaced fiberglass insulation to meet this fire safety standard. Many older homes do not meet this standard because it was not required at the time of the home's original construction.**

**INSULATION:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Fiberglass insulation batts are present at the exterior wood framed walls and appears serviceable.**

**WOOD DESTROYING INSECTS:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **CLIENT RECOMMENDATION:**

**A termite protection bond is recommended for this home to protect the home's structure from future termite activity and potential damage. Consult with a professional pest control contractor for more information and a price quote.**



**RODENTS:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Evidence of rodent activity was noted in the basement below the stairway, observations include:

1. Rodent droppings are visible on the floor below the stairway as well as on top of the metal security system box (see photos). This is an unsanitary condition; removal of all rodent droppings is recommended.

2. Chewed electrical wiring was noted at the romex electrical wire below the stairway (see photo). Damaged electrical wiring is an unsafe condition and is a potential fire hazard. Further evaluation is advised by a licensed electrician; all damaged wiring should be repaired or replaced.

Due to the evidence of rodent activity noted above, it is recommended that further evaluation be conducted by a professional wildlife or pest control contractor, prior to closing, to perform a full rodent infestation inspection, and to determine the full extent of rodent exclusion needs and costs, if needed. It is understood that this type of specialized inspection may identify other infestation issues not identified or mentioned in this inspection report. All potential rodent entry access points should be sealed to prevent future rodent entry. In many cases, this type of service can develop into a major expense depending upon the amount of work needed.



Rodent dropping on floor below stairs



Rodent chewed electrical wiring below basement stairs



**Rodent droppings on box below stairs**

# ATTIC:

## ATTIC ACCESS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The attic is accessible by a pull down ladder. The attic access appears serviceable; no concerns were noted.

## ATTIC / ROOF FRAMING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Conventional framing is present in the attic and consists of 2 x 6 roof rafters and 2 x 8 ceiling joists spaced 16 inches on center. The roof decking has been framed with oriented strand board (OSB).

• The attic and roof framing appears serviceable during this limited inspection, no concerns were noted.

## ATTIC LEAKS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• No evidence of roof leaks were observed during this limited attic inspection.

## ATTIC VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The roof and attic ventilation consists of:  
• Soffit vents and ridge vents;

• The roof and attic ventilation appears to be adequate, no concerns were noted.

## ATTIC INSULATION:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• Fiberglass - Blown - approximately 6-8 inches in depth.

• Missing batt insulation was noted over portions of the vertical wall in the attic space that adjoins the master bedroom and the nearby front bedroom (see photo). Bare sheetrock is present which will lead to an excessive amount of heat loss in winter and heat gain in the summer months. Correction is recommended.

### • UPGRADE SUGGESTED - ATTIC INSULATION:

Inadequate insulation was noted in the attic, the insulation depth is less than 12 inches, or R-30. This condition does not meet current insulation and energy efficiency standards that call for a rating of R-30. For improved comfort and energy efficiency, it is recommended that the attic insulation be upgraded to meet this current standard.



Missing attic insulation on master bedroom wall near thermostat



Missing wall insulation at front attic near master

**ATTIC FIRE SEPARATION:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Appears serviceable; the attic fire separation looks good, no concerns were noted.**

### ATTIC RODENTS:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**• RODENT ACTIVITY NOTED:**

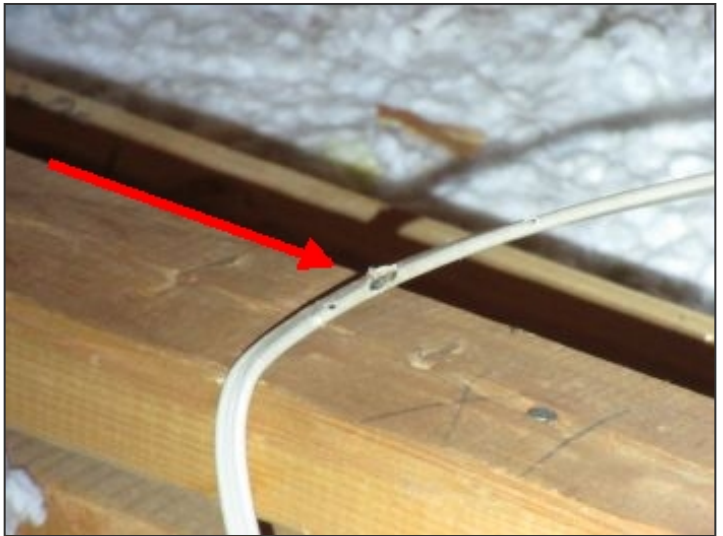
There is evidence of rodent activity in the attic:

1. Disturbed attic insulation was noted in the attic along with visible rodent trails in the insulation (see photo).
2. **UNSAFE CONDITION:** Chewed electrical wiring was noted in the attic above the front master bedroom (see photo). Damaged electrical wiring is an unsafe condition and could develop into a potential fire hazard. Further evaluation is advised by a licensed electrician to determine the full scope of repair needs and costs; it is our opinion that all damaged wiring should be replaced.

Due to the evidence of rodent activity noted above, it is recommended that further evaluation be conducted by a professional wildlife control contractor to determine the full extent of rodent exclusion needs and costs. All potential rodent entry access points should be sealed to prevent future rodent entry. In many cases, this type of repair can develop into a major expense depending upon the amount of work needed.



Rodent tunnels in attic insulation



Rodent chewed wiring in attic above master bedroom

# INTERIOR:

## EXTERIOR DOORS:

OK	Minor	Moder	Major	Recom
✘	✘			✘

- Steel coated entry door;
- Steel coated entry door with tempered safety glass
- **The exterior doors appear serviceable and operate normally; no concerns were noted.**

### CLIENT RECOMMENDATION:

**As a standard security measure, it is recommended that client consider installation of new door locks or rekeyed locks after move-in to insure that no one else has a copy of the house keys.**

- **The exterior doors appear serviceable except as noted below:**

• The exterior door weatherstripping is missing or is incomplete at the basement entry door. Daylight is visible, air infiltration is occurring, and there is evidence of previous water entry at this location; a minor repair is suggested to fully seal the doorway.

## INTERIOR DOORS:

OK	Minor	Moder	Major	Recom
✘	✘			

- **Wood interior doors are present; the interior doors appears to be serviceable and functional except as listed below:**

• An interior door at the laundry room rubs the door frame and is difficult to fully close. Repair / adjustment is suggested.

• A door stop is missing at the garage entry door hinge. This condition has allowed the door knob to damage the closet door behind it. Installation of a doorstop is recommended to prevent further damage.

**WINDOWS:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**• THE FOLLOWING CONCERNS WERE NOTED AT THE WINDOWS:**

**1. Moisture and/or foggy residue was observed inside the dual pane glass at the following locations:**

- A. The left family room window at the center row;
- B. The right family room window at the bottom row;
- C. The window to the right of the family room fireplace;
- D. The 3 side windows in the bedroom above the den;
- E. The center and left rear windows at the master bedroom;
- F. The front radial window at the master bedroom;

**A total of 9 windows are affected.**

This condition indicates a defective thermal seal inside the dual pane glass and is most often corrected by replacement of the glass panel or the full window. This condition can become a major expense when multiple windows are affected or when larger windows are involved. Further evaluation is recommended by a professional window replacement contractor to determine the full extent of repair needs and costs.

**NOTE:** We can not always identify all windows with a defective thermal seal due to weather, furniture obstructions, and other conditions that may affect our access to the window or our visibility of the glass. It is possible that other defective windows may be present as well that were not identified in this report. For this reason, we recommend that all windows be checked by the window repair contractor to fully evaluate the total number of windows that need repair or replacement.

**2. The exterior coatings of the center dining room window and the right window in the bedroom above the dining room appear to be defective - the surface of the glass has a splotchy / streaky appearance that is not considered normal and can not be removed with cleaning. Although the windows appear to be operating normally, this is a noticeable cosmetic defect.**

**3. Defective window balances were found at the left and right eat-in kitchen windows. The windows will not stay in the up position and fall down when opened.**

**4. Severe water damage was noted at the window sills of the rear master bedroom windows (see photos). Inadequate caulk patch repairs are present, the repairs are soft and damaged wood is still present. Based on the extent of water damage, it appears that the windows will need full replacement.**

**Due to these concerns, further evaluation is advised by a professional widow repair / replacement contractor to determine the full scope of repair needs and costs. Budget for a major repair.**



Severe water damage at rot at rear master windows



Severe water damage at rot at rear master windows, inadequate patch repairs



One of several foggy glass windows



Two master bedroom foggy glass windows

**INTERIOR WALLS / CEILINGS:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The interior walls and ceilings are covered with sheetrock / gypsum board. The overall condition of the interior walls and the ceilings appears to be serviceable during this limited visual inspection; no concerns were noted.



**FLOORS:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The general condition of floors appears to be serviceable. No concerns were noted except as mentioned below.**  
**NOTE: This inspection is limited due to floor coverings and does not evaluate cosmetic conditions with floor coverings such as carpet stains, floor scratches, etc. Floor conditions below carpeting and underneath area rugs will not be reported in this inspection and are excluded. We will not move the home sellers furniture in order to inspect flooring conditions. Buyer is advised to move all area rugs as needed for a more full evaluation of the floor conditions below the rugs.**

• Excessive floor squeaking was noted in front of the ovens and at the corner of the kitchen island. This condition is an indication that the floor is not properly secured to the subfloor below. Further evaluation is recommended by a professional flooring contractor to determine the full extent of repair needs.

**INTERIOR STAIRS:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The interior stairs appear to be serviceable; no concerns were noted.**

**FIREPLACE:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Fireplace Location: Family room Fireplace Type: Prefabricated Metal with gas logs**

The fireplace appears serviceable; no concerns were observed.

# KITCHEN:

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

## KITCHEN CABINETS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Wood cabinets and solid surface countertops are present. The kitchen cabinets and countertops appears serviceable, no concerns were noted.**

## KITCHEN SINK / FAUCET:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The kitchen sink and faucet appear serviceable; no concerns were noted.**

## STOVE / OVEN / COOKTOP:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **A gas cooktop is present;**

• **Electric ovens are present;**

• **Appears serviceable. The cooktop and ovens were tested and appear to be functioning normally except as mentioned below.**

• **The center gas cooktop burner does not evenly distribute the flame; this condition appears to be caused by a dirty burner. Cleaning is recommended.**

• **The center gas cooktop burner operating knob appears to be defective. The igniter continues to click when the burner is on. Further evaluation and repair is recommended by a professional appliance repair contractor.**

## DISHWASHER:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The kitchen dishwasher was operated through a normal wash, rinse and dry cycle. Operation was normal; no concerns were noted.**

## KITCHEN VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The microwave vent hood is functional and is recirculating back into the kitchen.**

## MICROWAVE OVEN:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The microwave oven was tested and appears to be operating normally.**

## DISPOSAL:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **Appears serviceable; the disposal was tested and operated normally.**

## REFRIGERATOR:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• The kitchen refrigerator is not within the scope of this inspection and was not inspected. If the refrigerator is staying with the home, it is suggested that client inspect the refrigerator for condition issues and performance.

# BATHROOMS / LAUNDRY

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

## BATH SINKS:

OK	Minor	Moder	Major	Recom
✘	✘			

• **The condition of the bathroom sinks appears serviceable except as noted below:**

• **The basement bathroom cabinet is loose and is not properly anchored to the floor or wall as needed to reduce stress to the plumbing pipes. Correction is advised to fully secure and anchor the sink cabinet.**



**Basement bath vanity cabinet is loose, unsecured**

## BATH TOILETS:

OK	Minor	Moder	Major	Recom
	✘			

• **The toilet in the first floor half bathroom is loose at the floor; this condition is a leak concern. A loose toilet can also be an indication that the toilet flange is damaged and may need replacement. Further evaluation is recommended by a professional plumber to determine the full scope of repair needs.**

• **The toilet tank is loose at the master bathroom. The tank excessively moves where the tank connects to the bowl. Further evaluation and repair is recommended by a professional plumber.**

**BATH TUBS / SHOWERS:**

OK	Minor	Moder	Major	Recom
✘	✘	✘	☐	☐

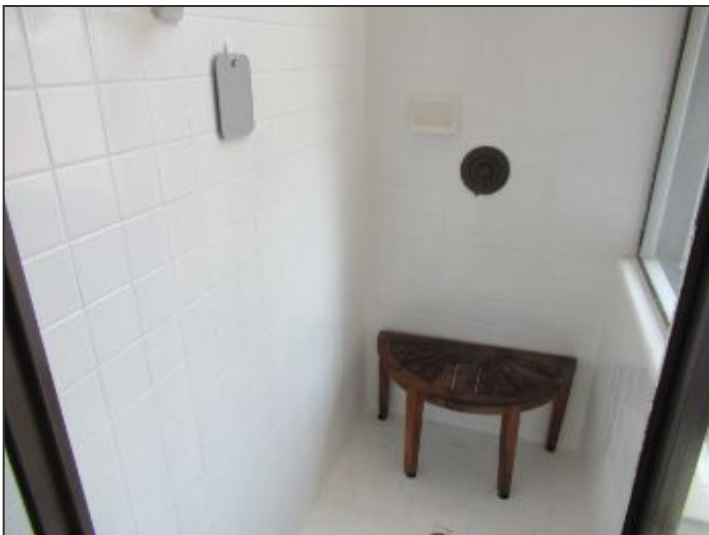
• A jetted tub is present and was tested successfully. The tub was filled and operated, **GFCI** protection was verified and tested; no concerns were noted.

• **CLIENT NOTE:** The master tile shower walls and floor have been painted / reglazed. We are unable to determine the adequacy of the coating. Continue to monitor, future repairs may be needed.

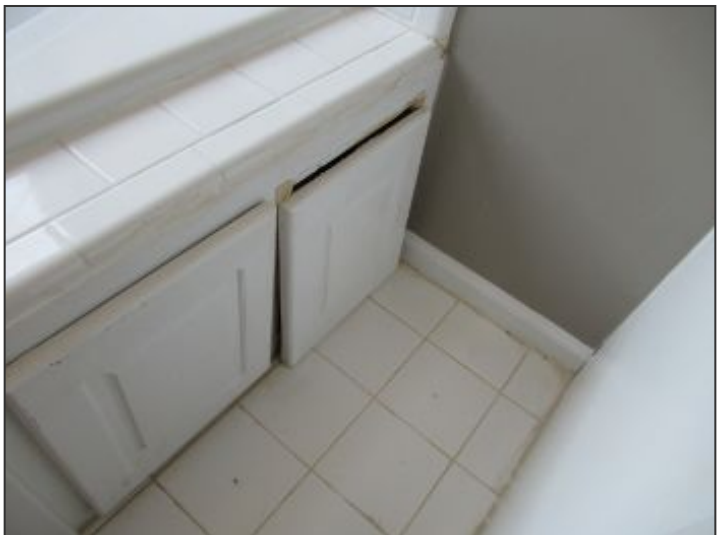
• The following concerns were noted with the bathtubs / showers:

1. Low water flow was found at the master shower. This condition appears to be caused by a defective shower head. Replacement of the shower head is recommended.
2. The handle at the master shower does not have a proper stop and turns in a complete circle; it is difficult to determine the correct temperature positions.
3. The supply piping behind the second floor hall shower moves excessively when the shower handle is used. This is an indication that the piping is not properly secured behind the wall.
4. A minor porcelain chip was found at the floor of the second floor hallway bathtub. Repair is recommended by a professional bathtub repair contractor.

Due to these concerns, further evaluation is recommended by a professional plumber to determine the full scope of repair costs and needs.



Master bath tiles have been re-coated



Loose access doors to jetted tub

## BATHROOM VENTILATION:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• Exhaust fans are present. The bathroom ventilation appears serviceable, no concerns were observed except as mentioned below.

• The basement bathroom exhaust fan makes a loud and unusual noise when turned on; repair or replacement is recommended.

## LAUNDRY:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• The laundry room is located in the second floor hallway.

• The plumbing hookups appear to be serviceable but were not tested during this very limited visual inspection. The electrical hookups appear to be OK and a gas connection is present and is capped.

1. The laundry appliances, if present, were not tested.
2. The laundry dryer duct is not fully visible for inspection, we are unable to view the interior of the duct. Continue to monitor and keep the duct clean and free from lint buildup.

• **CLIENT RECOMMENDATIONS:**

1. The laundry dryer outlet still has the older 3 prong receptacle; it is suggested that client upgrade this outlet to the newer 4 prong outlet with improved grounding (required after 1998).
2. Due the finished space located below the laundry room, client should consider the installation of metal reinforced supply hoses for the washing machine. This inexpensive upgrade (\$20) can help reduce leaks and water damage to the space below.

• Improper laundry dryer ducting was noted - the original metal dryer duct above the roof has a missing vent cap and appears to have been taped and sealed above the roof (see photo). A vinyl duct is visible in the attic at this location and may be the newer dryer duct but could not be confirmed. Due to fire safety concerns, the dryer duct is not allowed to be vinyl and is required to be a metal duct at this location. Further evaluation and repair is recommended, so the dryer duct is a rigid metal duct.



Laundry dryer vent is missing vent cap, has been sealed off

# PLUMBING:

## PLUMBING SUPPLY:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The water service is public and appears serviceable; the underground piping appears to be Copper. No concerns were observed.

• The main plumbing supply cut-off valve is located in the basement.

• Copper piping is present. Copper piping has been the most commonly used piping for residential housing until very recently when plastic piping has gained more popularity. Copper piping is known for its reliability, customer satisfaction, low maintenance needs, and has withstood the test of time well. Copper is corrosion resistant, will not burn or give off toxic gases, and conducts heat well.

• The supply piping appears to be serviceable, no concerns were noted. A water pressure reading was taken at the rear hose bib and was found to be normal at 45 PSI.



Main water cutoff at front basement



Normal water pressure at 45 PSI

## PLUMBING DRAINS / SEWAGE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• A public sewer system appears to be present with plastic drain pipes and plastic vent stacks. (NOTE: The presence of a sewer system can not be guaranteed during this inspection; client is advised to confirm the type of waste system of the home).

• The drain piping appears serviceable; no concerns were found.

## GAS SERVICE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• The gas meter is located at the right side wall exterior wall and appears serviceable; the main gas shutoff valve is located at the exterior meter; no concerns were found. (NOTE: The gas lines inside the walls, ceilings and floors are not fully visible for inspection and could not be evaluated).



# WATER HEATER:

## WATER HEATER:

OK	Minor	Moder	Major	Recom
✘			✘	

• The water heater is operated by natural gas and is located located in the basement.

• **TANK DESCRIPTION:** GE, 60 Gallons, 10 years old (2010)

• **The gas water heater appears serviceable, no concerns were noted. The gas piping, exhaust venting and combustion air requirements look good.**

**The temperature and pressure relief valve was NOT tested. Due to concerns with leaks, we do not test this type of valve. As a maintenance item, client is advised to test this safety valve at least once per year to insure normal valve operation.**

• **BUDGET FOR REPLACEMENT:**

Due to the advanced age of this aging gas water heater, client should budget for replacement of the water heater tank soon. The water heater tank is at, or past, the normal expected lifespan of 10 years.

**CLIENT NOTE - BE AWARE:** Because of newer standards and building codes that affect water heaters, the cost of water heater replacement has gone up significantly and may be more than most people are expecting. Plumbers may tell you that there are "code violations" that need to be addressed during tank replacement. Beware of big box stores and larger plumbing companies that will upcharge for many additional items, some that may not be necessary or required. Some newer gas tanks will need additional electrical wiring for condensing fans and may require other installation modifications.

For these reasons, newer water heater tanks will cost more than replacing water heaters in the past - client should budget for a major expense. It is strongly suggested that client get multiple quotes and check pricing before committing to a new tank.



Water heater in basement - 2010

# ELECTRICAL SYSTEM:

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

## ELECTRICAL SERVICE:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **The electrical service is underground - 110/220 volt;**
- **The electrical grounding consists of a single ground rod near the electrical meter.. The electrical service and grounding appears serviceable; no concerns were noted.**
- **A 150 amp main breaker is present at the exterior meter location. Appears serviceable, no concerns were noted.**

## LIGHTS / SWITCHES:

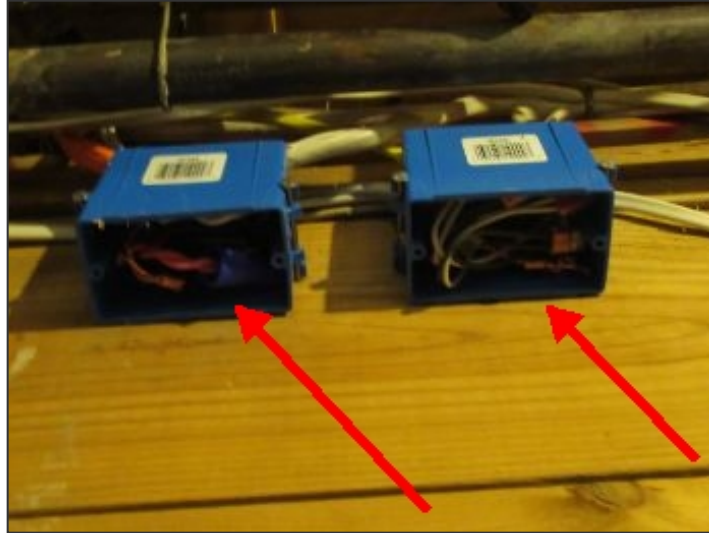
OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- **Appears serviceable - a representative number of lights and switches were tested and appear serviceable; no concerns were noted.**
- **LIGHTING UPGRADE SUGGESTED: INSTALL BETTER LIGHT BULBS:**  
**Installation of newer LED bulbs or compact fluorescent light bulbs (CFL's) is recommended for reduced energy use and savings. LED and CFL bulbs are slightly more expensive than incandescent bulbs but they last up to 10 times longer (up to 10,000 hours) and they use significantly less power, about one fourth as much energy to produce the same amount of light when compared to an incandescent bulb. This simple change can save up to 75% of the total cost of lighting a home or about \$100 - \$150 per year.**

## ELECTRICAL WIRING:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **The overall condition of the visible wiring appears to be serviceable, except as noted below:**
- **Two open junction boxes were noted at the basement mechanical room (see photo); the wires are exposed. A minor repair is suggested - install an approved junction box cover so that the wiring splices are fully enclosed.**



Two open junction boxes in mechanical room

**RECEPTACLES:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**• CLIENT NOTE:**

**One or more wall outlets in the den is controlled by a light switch at the entry door to the room. This switch controlled wall outlet is required by the National Electric Code (NEC) when no ceiling light has been installed and is designed to turn on a lamp from the doorway that could be plugged in to the wall outlet.**

**• A representative number of receptacles / outlets were tested and appeared to be functional, except as noted below:**

**• A loose outlet was found at the kitchen countertop above the dishwasher. Correction is recommended to fully secure the outlet.**

**GFCI / AFCI PROTECTION:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**• GFCI protection is present at all required locations including the exterior, garage, bathrooms and kitchen countertop locations. The GFCI outlets were tested and were found to be functioning properly.**

**Client is advised to test these locations at least once per year to insure the GFCI protection is fully functional. An inexpensive GFCI outlet tester can be purchased for around \$10.**

**FIRE SAFETY:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **The smoke detector alarms were tested and all responded to test button operation. It is suggested that client continue to test all smoke detectors regularly and change each 9 volt battery at least once a year.**

• **CLIENT NOTE:**

**A fire hydrant is near the property at the street. The presence of a fire hydrant close to the home may qualify this home for a homeowners insurance discount; contact your insurance agent for more information.**

• **UPGRADE SUGGESTED - FIRE SAFETY:**

**Outdated smoke detectors are present at some locations and should be considered for replacement and updating. The NFPA (National Fire Protection Association, Inc) recommends that smoke detectors be replaced after ten years of use.**

• **SAFETY CONCERN:**

**The smoke detectors appear to be hard wired but are not activating together when tested. This condition is a potential safety hazard, all detectors should activate together when one is tested. This condition may be related to a bad smoke detector in the home or one that is unplugged from the electrical harness at the detector. Due to this concern, a licensed electrician is advised for further evaluation and correction so that all smoke detectors activate together when tested.**

**CARBON MONOXIDE DETECTORS:**

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **POSITIVE FEATURE!**

**A carbon monoxide detector is present at the first floor. Continue to test and check batteries regularly.**

• **UPGRADE SUGGESTED - ADD CARBON MONOXIDE DETECTORS:**

**Installation of a carbon monoxide detector is recommended as a safety upgrade on each floor level. Carbon monoxide detectors are recommended on each floor level of the home and at least one carbon monoxide detector should be located in the master bedroom to alert the adults in the home to a possible C/O problem. Other good carbon monoxide detector locations include the garage and other areas where gas appliances are located such as furnaces, fireplaces, and water heaters.**

## HEATING:

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

**HEATING 1:**

OK	Minor	Moder	Major	Recom
✘			✘	

• **First Floor Zone: Trane, located in the basement, 60,000 BTU, 25 years old (1994)**

• **80% Efficiency: This is the most common efficiency rating.**

• **The heating system appears serviceable; the heating system was operated and was found to be functioning normally during a limited visual inspection, all readily openable panels were opened; no significant concerns were noted. Continue to maintain the system and have it serviced regularly.**

• **AGING EQUIPMENT:**

**HEAT EXCHANGER INSPECTION ADVISED:**

Due to the advanced age of the system, a full heat exchanger inspection is advised by a professional HVAC contractor and to provide written certification that the heat exchanger is in good working condition and is safe to operate. Additional heat exchanger inspections are advised each year for as long as this older furnace is in service.

**BUDGET FOR REPLACEMENT:**

Due to the advanced age of this heating system, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the heating system is at or past the normal expected lifespan of 15-20 years.

Consider these cost saving strategies when replacing HVAC equipment:

**1. MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates: <http://m.lennox.com/promotions/national.asp>

Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

**2. UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

**3. TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

**4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



**Normal heat temps at first floor**

## HEATING 2:

OK	Minor	Moder	Major	Recom
✘	✘	☐	✘	☐

• **Second Floor Zone: Trane, located in the attic, 60,000 BTU, over 25 years old (1994)**

- **80% Efficiency: This is the most common efficiency rating.**
- **The heating system appears serviceable; the heating system was operated and was found to be functioning normally during a limited visual inspection, no significant concerns were noted except as mentioned below. Continue to maintain the system and have it serviced regularly.**
- **The blower motor is dirty and has excessive dust and debris. It is recommended that the blower motor be cleaned / serviced by a professional HVAC contractor. In addition, it is recommended that the evaporator coils be checked for cleaning needs as well.**

• **AGING EQUIPMENT:**

**HEAT EXCHANGER INSPECTION ADVISED:**

Due to the advanced age of the system, a full heat exchanger inspection is advised by a professional HVAC contractor and to provide written certification that the heat exchanger is in good working condition and is safe to operate. Additional heat exchanger inspections are advised each year for as long as this older furnace is in service.

**BUDGET FOR REPLACEMENT:**

Due to the advanced age of this heating system, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the heating system is at or past the normal expected lifespan of 15-20 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. **MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:  
 Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>  
 Lennox Rebates: <http://m.lennox.com/promotions/national.asp>  
 Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>  
 York Rebates: <http://york.com/residential/promotions-savings/default.aspx>
2. **UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment
3. **TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.



**4. GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



**Second floor furnace in attic - 1994**



**Normal heat temps upstairs**

# AIR CONDITIONING:

## AC UNIT 1:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

- **First Floor Zone: Trane, 2 ton, 25 years old (1994)**

- **10 SEER (Seasonal Energy Efficiency Rating). This is the standard energy efficiency rating that was commonly used prior to January 2006 to meet minimum energy efficiency standards.**

- **LIMITED INSPECTION:**

We are unable to inspect the cooling system due to cold weather. The outside temperatures have dropped below 60 degrees during the day or during the previous overnight hours. Due to concerns regarding possible damage to the unit, the air conditioner was not operated and could not be fully inspected during this cold weather inspection. This inspection is limited to a visual inspection and a quick start up to insure the unit is functional.

- **AGING EQUIPMENT - BUDGET FOR REPLACEMENT:**

Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. **MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates: <http://m.lennox.com/promotions/national.asp>

Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

2. **UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

3. **TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

4. **GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



First floor AC unit - 1994

**AC UNIT 2:**

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

• **Second Floor Zone: Trane, 3 ton, 25 years old (1994)**

• **10 SEER (Seasonal Energy Efficiency Rating). This is the standard energy efficiency rating that was commonly used prior to January 2006 to meet minimum energy efficiency standards.**

• **LIMITED INSPECTION:**

We are unable to inspect the cooling system due to cold weather. The outside temperatures have dropped below 60 degrees during the day or during the previous overnight hours. Due to concerns regarding possible damage to the unit, the air conditioner was not operated and could not be fully inspected during this cold weather inspection. This inspection is limited to a visual inspection and a quick start up to insure the unit is functional.

• **AGING EQUIPMENT - BUDGET FOR REPLACEMENT:**

Due to the advanced age of this AC unit, client should budget for replacement soon which is expected to be a major expense. Based on the available manufacturing date on the equipment, the AC unit is at or past the normal expected lifespan of 12-15 years.

Consider these cost saving strategies when replacing HVAC equipment:

1. **MANUFACTURERS REBATES:** Check for current rebates from manufacturers on models that may be discontinued or that have higher energy ratings:

Carrier Rebates: <http://www.carrier.com/homecomfort/en/us/rebates-and-financing/>

Lennox Rebates: <http://m.lennox.com/promotions/national.asp>

Trane Rebates: <http://www.trane.com/residential/en/buying-a-trane/savings-and-offers.html>

York Rebates: <http://york.com/residential/promotions-savings/default.aspx>

2. **UTILITY COMPANY REBATES:** Check for rebates or incentives from your local power company or gas provider - many offer rebates for higher efficiency equipment

3. **TIME OF INSTALLATION:** Wait to have your equipment to be installed in the fall or spring when HVAC contractors are not as busy and ask for an off season discount.

4. **GET MULTIPLE QUOTES:** Always get more than one quote before making your decision - prices can vary widely from one company to another.



**Second floor AC unit - 1994**

# THERMOSTATS / FILTERS / DUCTING:

## THERMOSTATS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

• **The thermostats appear to be functional and working normally during testing of the HVAC systems.**

• The basement HVAC system has been ducted off the first floor HVAC which is not advised. This condition has two performance issues:

1. It is possible that the original first floor HVAC system was not sized to accommodate the additional finished space in the basement which could lead to poor performance issues on both floors.
2. The basement level does not have thermostatic controls and is relying on the first floor thermostat. This condition creates cooler temps in the basement year round, not enough heat in winter, too much AC in the summer.

Further evaluation is recommended by a professional HVAC contractor to determine if this single HVAC system is adequately sized and ducted to meet the heating and cooling needs of these two floor spaces. In addition, client may want to upgrade to a dual thermostat system so that the basement has its own thermostat with dampered ducts that open and close as needed.

## HVAC FILTERS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The filters appear serviceable. No concerns were noted. Client is encouraged to change the filters regularly. Regular filter changing helps to maintain clean HVAC equipment, cleaner air ducts, and reduced dirt and dust inside the home. Consider using good quality filters. Good filter choices include a pleated filter or larger media filter that provides more surface area for improved air cleaning. Look for filters with a higher micro-particle performance rating (800 and up), and a higher MERV rating (Minimum Efficiency Reporting Value - 8 to 10 and up).**

## HVAC DUCTING:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

• **The interior of HVAC ducts are very dirty; professional duct cleaning is recommended.**

### FIRST FLOOR DUCTING:

A large hole was noted in the HVAC flex duct to the kitchen as viewed from the basement mechanical room (see photo). A large amount of air leakage was noted, a minor repair is suggested to fully seal the duct.

### BASEMENT DUCTING:

The basement has been poorly ducted:

- A. The basement bathroom has no delivery vent or source of heat as needed;
- B. The delivery vents in the basement are not located at the exterior walls, as is customary, and are installed at center locations in the room. This condition may cause the perimeter of the rooms to not get adequate air flow.

Further evaluation is suggested by a professional HVAC contractor to determine the full scope of repair / adjustment needs.



Large hole in HVAC duct in basement mechanical room ceiling

# RADON / MOLD / ASBESTOS / LEAD PAINT

## RADON:

OK	Minor	Moder	Major	Recom
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### RADON TEST RECOMMENDED:

According to the Environmental Protection Agency (EPA), metro Atlanta and parts of north Georgia have higher levels of radon gas. The EPA provides a Georgia county map identifying the counties that have a high or moderate risk of radon. Because this home may have a higher risk of radon gas entry, radon screening should be considered. Ask the home seller if there has been any recent radon testing of the home. If no recent radon information is available, then a current radon screening should be considered.

Visit <http://www.epa.gov/radon> for more information on radon gas, radon testing and a view of the Georgia county map - <http://www.epa.gov/radon/zonemap.html> .

**WE CAN HELP!** Atlanta Property Inspections, Inc can conduct professional radon screening, for an additional fee. The radon screening consists of placement of a continuous radon monitor, usually in the lowest available living space such as a basement or first floor room. The radon monitor takes hourly radon readings, for a minimum of 48 hours, and an overall radon average will be calculated. The EPA strongly recommends that steps be taken to reduce indoor radon levels when test results are 4.0 pCi/L (picocuries per liter of radon in air) or higher.

## MOLD:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

No suspected mold or fungus was observed during this very limited visual inspection at the time of this home inspection.

### MOLD AND THE INSPECTION:

This is a limited home inspection and is NOT A MOLD INSPECTION. We are not inspecting for mold and we are not responsible or liable for any mold that may be present in this home. We may mention visible mold as a courtesy when the suspected mold is detected during the course of our normal home inspection procedures.

For a thorough and in-depth evaluation of the possible presence of mold, we strongly advise a mold test that includes mold air testing / sampling and lab analysis of those air samples.

## ASBESTOS:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

No obvious asbestos materials were noted during this limited visual inspection of readily accessible areas. Because this home was built after asbestos was commonly used (prior to mid 1980's), it is unlikely that any asbestos materials are present.

Please visit <http://www.epa.gov/asbestos> for more information on asbestos materials.



### LEAD BASED PAINT:

OK	Minor	Moder	Major	Recom
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Because this home is newer and was NOT constructed prior to 1978, it is unlikely that lead based paint (LBP) is present. According to the Environmental Protection Agency (EPA), homes built prior to 1978 have a higher risk of having LBP in the home. For more information regarding LBP, call the National Lead Information Clearinghouse at 800.424.LEAD or visit <http://www.epa.gov/lead> .

## Glossary

Term	Definition
CU	Copper (wiring)
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
Drip Edge	Drip edge is a metal flashing applied to the edges of a roof deck before the roofing material is applied. The metal may be galvanized steel, aluminum (painted or not), copper and possibly others.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
Valley	The internal angle formed by the junction of two sloping sides of a roof.