

Inspection Report

Emily Mason

**Property Address:
1145 Haven Brooks Ln NE
Atlanta Ga 30319**



Inspector: Brandon Williams

**Residential Inspector of America
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Buford, GA 30519
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Date: 2/26/2020	Time:	Report ID: 80220
Property: 1145 Haven Brooks Ln NE Atlanta Ga 30319	Customer: Emily Mason	Real Estate Professional: Michael Hermance Keller Williams

All complete RIA home inspections come with these FREE services for home buyers:

5 Year Platinum Roof Leak Warranty 90 Day Structural/Mechanical Warranty

90 Day Mold Warranty 90 Day Main Sewer/Water Line Warranty

Concierge Service for Utility Set up 120 Day Radon Warranty (with test)

And FREE *RecallChek* on appliances for life! Click [HERE](#) to find out more.

IMPORTANT INFORMATION ABOUT THIS INSPECTION

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

In Attendance:

Customer and their agent

Approximate age of building:

Over 30 Years

Temperature:

Below 60

Weather:

Cloudy

Inspector:

Brandon Williams

Summary

Customer
Emily Mason

Address
1145 Haven Brooks Ln NE
Atlanta Ga 30319

All complete RIA home inspections come with these FREE services to protect your investment: 5 Year Platinum Roof Leak Warranty, 90 Day Structural and Mechanical Warranty, 90 Day Mold Warranty, 90 Day Main Sewer and Water Line Warranty, 120 Radon Warranty (with test), Concierge Service, and RecallChek on appliances for life. Click [HERE](#) to find out more. Applies to home buyers only.

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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If applicable, RIA can complete a re-inspection of completed repairs, moisture testing on stucco, mold testing, and radon gas testing. Please call our office or click [HERE](#) for more information. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior


1.1 EXTERIOR SIDING

Inspected, Repair or Replace

-  (2) The soil is too close to the last pieces of lap siding front and right side of the home. This could be an avenue for possible termite infestation. Have all soil pulled away from the last pieces of lap siding at least 4-6 inches.





1.2 DOORS

Inspected, Repair or Replace

-  (2) Minor rot damage on the lower part(s) of the front door. Repair or replace damaged wood. See photo(s). There have been past repairs made here and it should be expected that more damage will occur in the future.

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Inspected, Repair or Replace

-  (1) Hanger brackets needed on the ends of the deck joist noted in the photos. Hanger brackets make a stronger connection and are required for better support.
-  (2) Guard rails on rear deck are loose and need additional bracing and/or fasteners to reduce the amount of movement on the rails. See photo for location.
-  (3) Crack noted on stair stringer to rear of deck. No movement noted when stepped on, but it is recommended to have repairs made to prevent future issues with the stair stringer
-  (5) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.

3. Structural Components

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

- 🔧 Minor erosion noted under the foundation/slab at the rear right corner of the home, no settlement was noted in the slab or home at time of inspection. Recommend backfilling and compacting. Gutter extensions should be install to prevent this.
-

4. Roofing

4.0 ROOF COVERINGS

Inspected, Repair or Replace

- 🔧 (2) Have roofer replaced the damaged shingles at the left side roof at the ridge line.
- 🔧 (3) The lower part of the roof on the front of the home is blistering. Likely due to lack of ventilation in lower attic. Have roofer evaluate and make any repairs/replace as needed.

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

- 🔧 (2) Seal all exposed nail heads with tar or other type of sealant on the roof vents and exposed nail heads on the boot flashing. This will help prevent leaks.
- 🔧 (3) Chimney chase caps are metal and are somewhat dome shaped when new so they can shed water. Cap is now bowl shaped and is rusting. See photo. These last about 20-25 years. Have roofer/chimney sweep evaluate and make repairs as needed

4.3 GUTTERS & DOWNSPOUTS

Inspected, Repair or Replace

- 🔧 (1) Install all missing downspout extensions at the ends of the downspouts. All roof water should drain at least 5 feet away from the home.
- 🔧 (2) The gutters are full of debris in areas and needs to be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist.
- 🔧 (3) Gutter guards are recommended over the gutters to prevent leaves from clogging gutters. Over flowing gutters often cause water damage on siding and trim, and cause water entry into walls and basements.

4.4 WATER ENTRY IN ROOF

Inspected, Repair or Replace

- 🔧 Water stains and possible slight damage noted in the roof decking in the attics in a couple areas. Roofer will need to evaluate roof and ensure that it is water tight. Even though these areas were not wet during the inspection, it is possible that outdoor and weather conditions could cause leaks to become active again. See photo(s) for examples of location(s).
-

5. Insulation and Ventilation

5.0 INSULATION IN ATTIC

Inspected, Repair or Replace

- 🔧 (2) Install missing baffles at all soffit vents in the attic to prevent insulation from covering the vents in the eaves. Majority of the roof eaves were blocked and restricting air circulation in the attic

5.3 VENTILATION OF ROOF

Inspected, Repair or Replace

- 🔧 The batts insulation installed in the roof framing in the front lower attic has blocked all air intake and circulation in this attic space. This causes this lower attic space to get very hot in the summer time and has likely caused/ contributed to the blistering found on the top of the roof shingles on the front part of the roof. Batts insulation will

need to be removed and baffles installed at the transition between the upper and lower attic. It is also recommended to have a roofer evaluate the blistered shingles on the front roof and make any repairs as needed.

5.5 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Inspected, Repair or Replace

- Whole house fan in the attic would run, but was make a metal on metal sound when run. Have repaired or covered with a insulation box if no plans to use in the future.

6. Heating / Central Air Conditioning

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace

- (1) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Much of internal parts of the hvac system is concealed from view, and our inspection is visual and is intended to check the function of the systems. The inspection does not make any assessment of the internal parts of the duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.
- (2) Install missing sediment trap on gas pipe by furnace. See photo
- (3) Buzzing/whirring sound coming from the furnace unit when running. Have an HVAC tech evaluate and make any repairs as needed.

6.2 DISTRIBUTION SYSTEMS

Inspected, Repair or Replace

- (1) Strongly recommend installing filter at bottom of unit, unit is currently pulling unfiltered air through the louvered door and the interior of the unit is very dirty. Have HVAC system cleaned and serviced prior to closing.

6.7 COOLING AND AIR HANDLER EQUIPMENT

Inspected, Repair or Replace

- The a/c compressor(s) have a typical life expectancy of 8-15 years. Unit(s) that are within this age range may require repairs or replacement in the near future. Have an HVAC contractor examine. Unit is a 2005 model

Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c units use the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

7. Electrical System

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Inspected, Repair or Replace

- Breaker in the electrical panel for the a/c unit is the 40 amp type. Info tag on the a/c unit outside calls for a 20 amp breaker to be the max size. Breaker in panel is 20 amps over sized. Have electrician change breaker to the required size.

7.4 OUTLETS & LIGHT FIXTURES

Inspected, Repair or Replace

- Replace broken outlet to right of front door in the living room. See photo.

7.6 OPERATION OF GFCI & OR AFCI**Inspected, Repair or Replace**

Gfci outlet by the rear exterior door did not have power and would not reset. Have electrician evaluate and make all repairs/replacements as needed

8. Plumbing System

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS**Inspected, Repair or Replace**

(1) Slow drain in the front right bedroom bath tub(s). Have plumber check for a clog and repair. See photo(s) for location(s).

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES**Inspected, Repair or Replace**

(2) Leaks at all bathtub fixtures in both bathrooms at the shower heads, faucets, and shower diverter. Have plumber evaluate and make all repairs/replacements as needed

8.2 TUBS, SINKS, TOILETS & SHOWER STALLS**Inspected, Repair or Replace**

(1) Secure the loose toilet to the floor at all toilets in home. Loose toilets can lead to broken wax seals between toilet and drain pipe that can leak on the floor. Recommend have plumber repair.

8.3 WATER HEATER**Inspected, Repair or Replace**

(1) Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age. Unit is a 2005 model

8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)**Inspected, Repair or Replace**

The main water shut off valve in the home was not located or inspected. Consult with current homeowner or plumber for location. Install a method to shut off the water if not located.

9. Interiors

9.8 PESTS**Inspected, Repair or Replace**


There is evidence of rodent activity in the attic spaces as noted by tunnels/trails in attic insulation and some chewed batts insulation in the front attic space. No evidence of droppings or nesting were seen at the time of the inspection. A wildlife company should be consulted to determine if the activity is past or present and to repair all possible entry points to the attic and the entire home

11. Infrared Inspection

11.1 Interior Ceiling**Inspected, Repair or Replace**


Small cold spot found on the main level front left office room at a past repair. No moisture was detect, likely low insulation. See photo for location. Have any concerns resolved prior to closing

11.3 Attic Insulation**Inspected, Repair or Replace**

 There were a couple areas of low insulation in the attic, and insulation was missing around the attic pull down stairs and the whole house fan. See photos. Have missing insulation installed

11.4 Wall Insulation

Inspected, Repair or Replace

 Wall insulation was seen to be missing in two spots on the second floor. See photos for location. have missing insulation installed as needed

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Brandon Williams

1. Exterior

Styles & Materials

Siding Material:

Vinyl

Items

1.0 EXTERIOR ELEVATION PHOTOS

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)

1.1 EXTERIOR SIDING

Comments: Inspected, Repair or Replace

(1) The following items are considered to be part of general maintenance around the home and should be performed every few years as needed:

Seal all vent caps to exterior siding to prevent leaks into wall cavities. See photo (s).

Seal around all plumbing entries into siding to prevent water entry into wall cavities.

Seal the light fixtures to the lap siding around the house to prevent water entry into the wall cavity and fixture box.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)



1.1 Item 6(Picture)

🔧 (2) The soil is too close to the last pieces of lap siding front and right side of the home. This could be an avenue for possible termite infestation. Have all soil pulled away from the last pieces of lap siding at least 4-6 inches.



1.1 Item 7(Picture)



1.1 Item 8(Picture)

1.2 DOORS

Comments: Inspected, Repair or Replace

(1) Seal the gaps between the metal threshold, lower parts of side jams, and the lap siding at the bottom of the exterior doors. This is part of general maintenance and should be performed every few years as needed.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

(2) Minor rot damage on the lower part(s) of the front door. Repair or replace damaged wood. See photo(s). There have been past repairs made here and it should be expected that more damage will occur in the future.



1.2 Item 3(Picture)



1.2 Item 4(Picture)

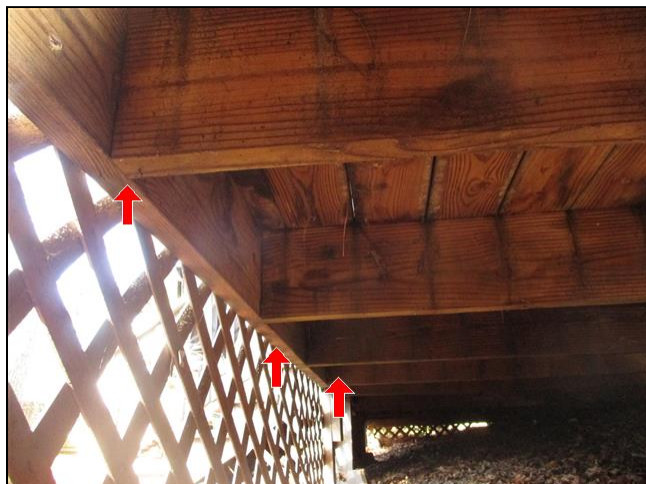
1.3 WINDOWS

Comments: Inspected

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

🔧 (1) Hanger brackets needed on the ends of the deck joist noted in the photos. Hanger brackets make a stronger connection and are required for better support.



1.4 Item 1(Picture)

🔧 (2) Guard rails on rear deck are loose and need additional bracing and/or fasteners to reduce the amount of movement on the rails. See photo for location.

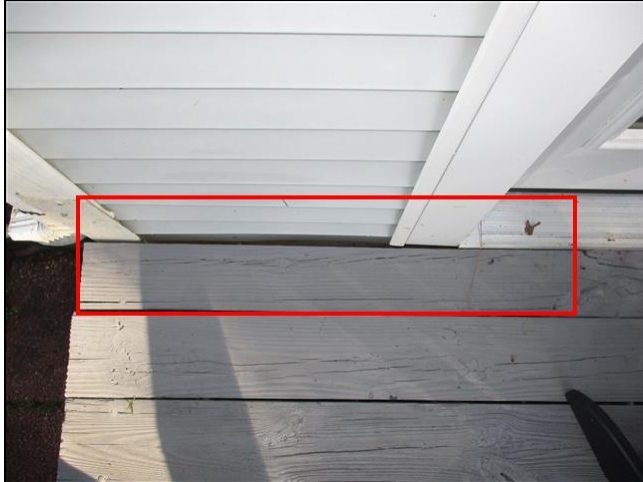
🔧 (3) Crack noted on stair stringer to rear of deck. No movement noted when stepped on, but it is recommended to have repairs made to prevent future issues with the stair stringer



1.4 Item 2(Picture)

(4) Limited visual of framing under deck due to low clearance of deck to the ground. Framing was observed from the edge.

🔧 (5) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.

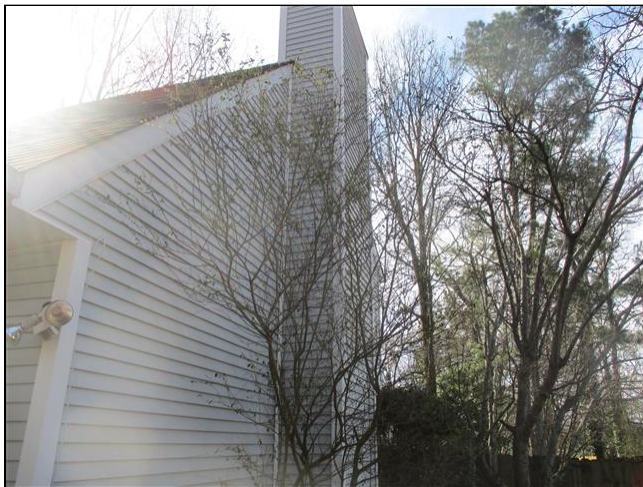


1.4 Item 3(Picture)

1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Comments: Inspected

(1) Trim vegetation away from house siding. It is best to have a clear path around the house.



1.5 Item 1(Picture)

(2) The tree limbs that are in contact with roof or hanging near roof should be trimmed.



1.5 Item 2(Picture)



1.5 Item 3(Picture)



1.5 Item 4(Picture)

(3) Tree at right side of home is decaying and rotting. Recommend having this removed. See photo.



1.5 Item 5(Picture)

1.6 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

1.7 EXTERIOR TRIM

Comments: Inspected

Trim at right rear of home, above the lower level roof, is missing at the bottom. The area is flashed, but it is recommended to have a qualified contractor evaluate and make all repairs as needed



1.7 Item 1(Picture)



1.7 Item 2(Picture)

1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected

3. Structural Components

Styles & Materials

Foundation:

Slab

Roof Structure:

2 X 8 Rafters

2 X 10 Rafters

Method Used to Observe Attic:

Walked

Crawled

Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Repair or Replace

🔧 Minor erosion noted under the foundation/slab at the rear right corner of the home, no settlement was noted in the slab or home at time of inspection. Recommend backfilling and compacting. Gutter extensions should be install to prevent this.



3.0 Item 1(Picture)

3.1 WALLS (Structural)

Comments: Inspected

3.3 FLOORS (Structural)

Comments: Inspected

3.4 CEILINGS (structural)

Comments: Inspected

3.5 ROOF STRUCTURE AND ATTIC

Comments: Inspected

(1) Several rafters do not have full bearing on the ridge beam at the peak of the roof. Wood to wood contact between the rafters and ridge will make a stronger frame. Blocking or brackets can be installed to bridge gap. See photo(s).



3.5 Item 1(Picture)

(2) Insulation between roof rafters in the front crawl in attic limited view of roof framing and roof decking. It was not all removed for inspection and this prevented a visual of the entire roof framing system in the front attic. It is possible that some defects are hidden or not in view during this inspection.



3.5 Item 2(Picture)



3.5 Item 3(Picture)



3.5 Item 4(Picture)

(3) Have all storage and excess batts insulation removed from the upper attic



3.5 Item 5(Picture)

4. Roofing

Styles & Materials

Roof Covering:

3-Tab asphalt/fiberglass

Viewed Roof Covering From:

Ground

Ladder

Items

4.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace

(1) Shingles on the roof are the 3 tab type with a life expectancy of about 15-20 years (depending on conditions) and the shingles are showing signs of age and wear. Some shingles have lost granules and some shingle mats are getting brittle. As the roof continues to age, it may begin to leak.

Past repairs made in areas, repairs are adequate




4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)


 (2) Have roofer replaced the damaged shingles at the left side roof at the ridge line.



4.0 Item 4(Picture)



4.0 Item 5(Picture)

 (3) The lower part of the roof on the front of the home is blistering. Likely due to lack of ventilation in lower attic. Have roofer evaluate and make any repairs/replace as needed.



4.0 Item 6(Picture)



4.0 Item 7(Picture)

4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected, Repair or Replace

(1) Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic.



4.2 Item 1(Picture)

(2) Seal all exposed nail heads with tar or other type of sealant on the roof vents and exposed nail heads on the boot flashing. This will help prevent leaks.



4.2 Item 2(Picture)



4.2 Item 3(Picture)



4.2 Item 4(Picture)



4.2 Item 5(Picture)

🔧 (3) Chimney chase caps are metal and are somewhat dome shaped when new so they can shed water. Cap is now bowl shaped and is rusting. See photo. These last about 20-25 years. Have roofer/chimney sweep evaluate and make repairs as needed



4.2 Item 6(Picture)

4.3 GUTTERS & DOWNSPOUTS

Comments: Inspected, Repair or Replace

🔧 (1) Install all missing downspout extensions at the ends of the downspouts. All roof water should drain at least 5 feet away from the home.



4.3 Item 1(Picture)

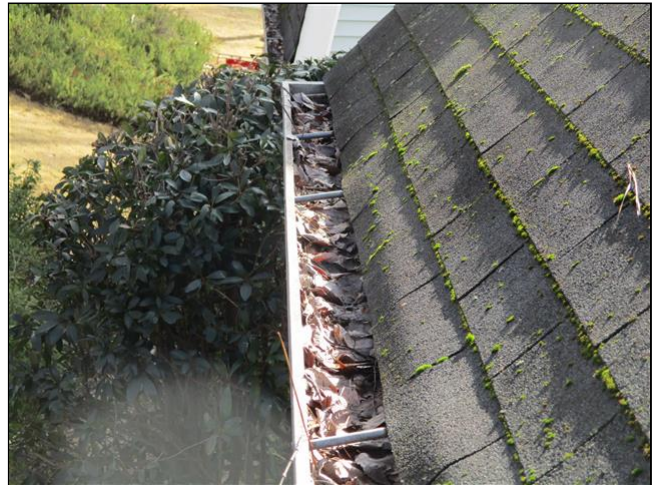


4.3 Item 2(Picture)

🔧 (2) The gutters are full of debris in areas and needs to be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist.



4.3 Item 3(Picture)



4.3 Item 4(Picture)



4.3 Item 5(Picture)



4.3 Item 6(Picture)

🔧 (3) Gutter guards are recommended over the gutters to prevent leaves from clogging gutters. Overflowing gutters often cause water damage on siding and trim, and cause water entry into walls and basements.

4.4 WATER ENTRY IN ROOF

Comments: Inspected, Repair or Replace

Water stains and possible slight damage noted in the roof decking in the attics in a couple areas. Roofer will need to evaluate roof and ensure that it is water tight. Even though these areas were not wet during the inspection, it is possible that outdoor and weather conditions could cause leaks to become active again. See photo(s) for examples of location(s).



4.4 Item 1(Picture) lower attic



4.4 Item 2(Picture)



4.4 Item 3(Picture)



4.4 Item 4(Picture)

5. Insulation and Ventilation

Styles & Materials

Attic Insulation:

- Batt
- Blown
- Fiberglass

Roof Ventilation:

- Gable vents
- Soffit Vents

Items

5.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

(1) Weather strip and insulation of some type (recommend foam board insulation) needed over the attic pull down steps.



5.0 Item 1(Picture)

(2) Install missing baffles at all soffit vents in the attic to prevent insulation from covering the vents in the eaves. Majority of the roof eaves were blocked and restricting air circulation in the attic



5.0 Item 2(Picture) Lower attic



5.0 Item 3(Picture)



5.0 Item 4(Picture) upper attic

(3) Recommend having the open chimney chase in attic be properly closed. This is a potential fire safety hazard that could funnel fire up fro the main level through the house up to the roof. Recommend a qualified contractor repair as needed



5.0 Item 5(Picture)

5.1 INSULATION BETWEEN FLOOR JOISTS IN BASEMENT OR CRAWL SPACE

Comments: Inspected

5.3 VENTILATION OF ROOF

Comments: Inspected, Repair or Replace

🔧 The batts insulation installed in the roof framing in the front lower attic has blocked all air intake and circulation in this attic space. This causes this lower attic space to get very hot in the summer time and has likely caused/contributed to the blistering found on the top of the roof shingles on the front part of the roof. Batts insulation will need to be removed and baffles installed at the transition between the upper and lower attic. It is also recommended to have a roofer evaluate the blistered shingles on the front roof and make any repairs as needed.

5.4 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected

Bath exhausts are venting into the attic. This was accepted and common at the time the house was built, but it is strongly recommended that flex duct be attached and run to the exterior of the home



5.4 Item 1(Picture)

5.5 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Inspected, Repair or Replace

🔧 Whole house fan in the attic would run, but was make a metal on metal sound when run. Have repaired or covered with a insulation box if no plans to use in the future.

6. Heating / Central Air Conditioning

Styles & Materials

Heating Equipment Type:

Forced Air

Heating Equipment Age:

2005

Number of Heat Systems (excluding wood):

One

Heat Temp:

The main level heat read 106

The upper level heat read 100 degrees.

Operable Fireplaces:

One

Cooling Equipment Type:

Central forced Air A/C

Number of AC Only Units:

One

Cooling Equipment Age:

2005

A/C Temp:

The main level a/c read 54 degrees

The upper level A/C read 54 degrees.

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

🔧 (1) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Much of internal parts of the hvac system is concealed from view, and our inspection is visual and is intended to check the function of the systems. The inspection does not make any assessment of the internal parts of the duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.



6.0 Item 1(Picture)

🔧 (2) Install missing sediment trap on gas pipe by furnace. See photo



6.0 Item 2(Picture)

🔧 (3) Buzzing/whirring sound coming from the furnace unit when running. Have an HVAC tech evaluate and make any repairs as needed.



6.0 Item 3(Picture)

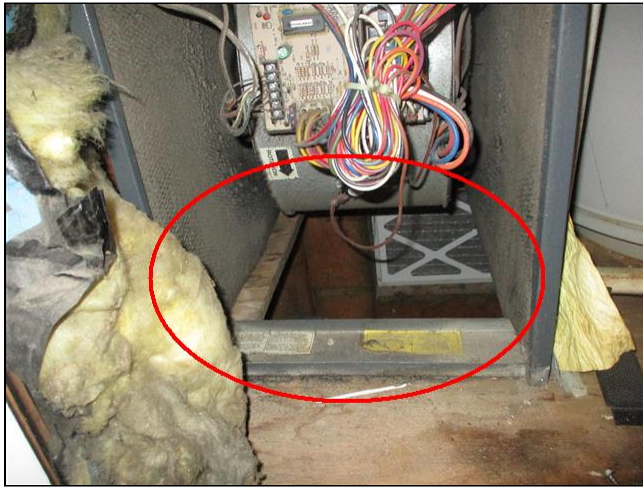
6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

Comments: Inspected

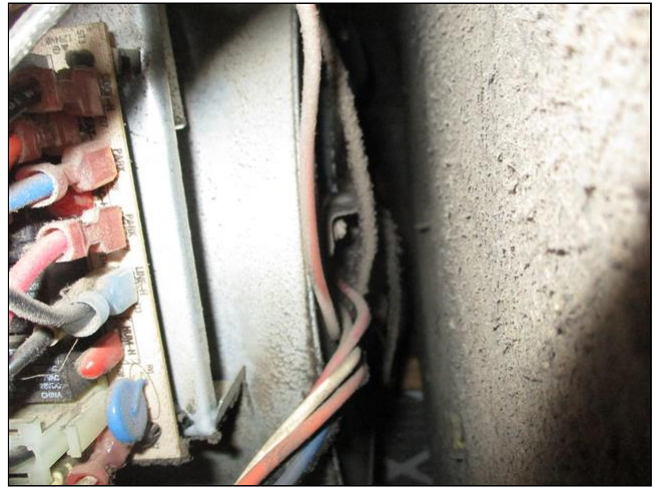
6.2 DISTRIBUTION SYSTEMS

Comments: Inspected, Repair or Replace

(1) Strongly recommend installing filter at bottom of unit, unit is currently pulling unfiltered air through the louvered door and the interior of the unit is very dirty. Have HVAC system cleaned and serviced prior to closing.



6.2 Item 1(Picture)



6.2 Item 2(Picture) Interior of unit is dirty



6.2 Item 3(Picture)

(2) Filter location in foyer return vent



6.2 Item 4(Picture)

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.6 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected

- (1) Replace the cracked concrete panel in the fire place. These are usually held in place by clips or screws and are subject to wear.



6.6 Item 1(Picture)

- (2) Have heat resistant caulk applied around the gas pipe where it enters the fire box in the fireplace. This is needed to prevent any hot embers from entering framing behind fireplace.



6.6 Item 2(Picture)

6.7 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

- 🔧 The a/c compressor(s) have a typical life expectancy of 8-15 years. Unit(s) that are within this age range may require repairs or replacement in the near future. Have an HVAC contractor examine. Unit is a 2005 model

Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c units use the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.



6.7 Item 1(Picture)

6.8 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

6.9 NORMAL OPERATING CONTROLS/ THERMOSTAT

Comments: Inspected

7. Electrical System

Styles & Materials

Panel Type:

Circuit breakers

Panel capacity:

100 AMP

Wiring Methods:

Romex

Main Disconnect Location:

Panel Box

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location at panel.



7.0 Item 1(Picture)

7.1 SERVICE GROUNDING

Comments: Inspected

7.2 PANEL BOX & SUB-PANEL

Comments: Inspected

View of panel. Panel was inspected for function (not code compliance) and building codes and standards have changed over the years.



7.2 Item 1(Picture)

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

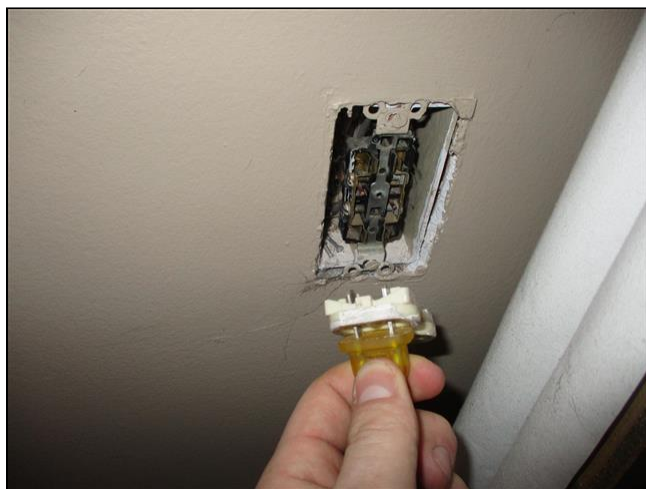
Comments: Inspected, Repair or Replace

🔧 Breaker in the electrical panel for the a/c unit is the 40 amp type. Info tag on the a/c unit outside calls for a 20 amp breaker to be the max size. Breaker in panel is 20 amps over sized. Have electrician change breaker to the required size.

7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 Replace broken outlet to right of front door in the living room. See photo.




7.4 Item 1(Picture)

7.5 CONDUIT

Comments: Inspected

7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected, Repair or Replace

 Gfci outlet by the rear exterior door did not have power and would not reset. Have electrician evaluate and make all repairs/replacements as needed



7.6 Item 1(Picture)

7.7 SMOKE DETECTORS

Comments: Inspected

All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one per hallway. There are different types of smoke detectors: Ionization and Photoelectric. Smoke detectors have an expiration date.

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

Carbon Monoxide detectors are always recommended to be installed in the home.

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Not visible	Plumbing Water Distribution (inside home): Copper
Plumbing Drain Pipe: PVC	Water Heater Capacity: 38 Gallon	Water Heater Age: 2005

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected, Repair or Replace

🔧 (1) Slow drain in the front right bedroom bath tub(s). Have plumber check for a clog and repair. See photo(s) for location(s).



8.0 Item 1(Picture)

(2) It is recommended that a scope of the main sewer pipe be performed due to the large tree in the likely path of the sewer pipe between the house and the street. A sewer scope would likely reveal any cracks or obstructions from nearby tree roots invading the sewer pipe. This would not be noticeable through a normal test of the plumbing system. For more information click [HERE](#)

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected, Repair or Replace

(1) Low water flow noted at the kitchen faucet. This is possibly due to supply line diameter change from 3/4 to 1/4. See photo. Recommend have plumber evaluate and make repairs as needed.

⤴ (2) Leaks at all bathtub fixtures in both bathrooms at the shower heads, faucets, and shower diverter. Have plumber evaluate and make all repairs/replacements as needed



8.1 Item 1(Picture)



8.1 Item 2(Picture)



8.1 Item 3(Picture)

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

(1) Secure the loose toilet to the floor at all toilets in home. Loose toilets can lead to broken wax seals between toilet and drain pipe that can leak on the floor. Recommend have plumber repair.

(2) Seal gaps around plumbing fixtures in shower stalls to help prevent water entry into the wall cavity behind.

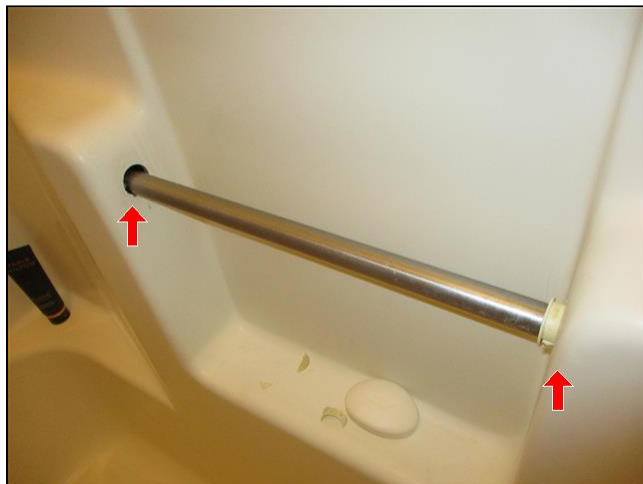
Seal gaps around grab bars in shower stalls to prevent water entry into the wall cavity. See photo for example



8.2 Item 1(Picture)



8.2 Item 2(Picture)



8.2 Item 3(Picture)

8.3 WATER HEATER

Comments: Inspected, Repair or Replace

🔧 (1) Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age. Unit is a 2005 model



8.3 Item 1(Picture)

(2) It is recommended to install a drain pan underneath the water heater in the mechanical closet, as it is located in an area where any future leaks can cause damage to the finished areas nearby.

8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected, Repair or Replace

🔧 The main water shut off valve in the home was not located or inspected. Consult with current homeowner or plumber for location. Install a method to shut off the water if not located.

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

Paint rusty gas pipes at exterior walls with a metal protective paint.

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

The main gas shut off is located at the meter.



8.6 Item 1(Picture)

9. Interiors

Items

9.0 CEILINGS

Comments: Inspected

Several small blemishes and cracks found in walls and ceilings due to normal settlement. None of the cracks, peeling tape or nail pops appear to indicate any type of major structural issue.

9.1 WALLS

Comments: Inspected

9.2 FLOORS

Comments: Inspected

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

Window lock at top of stairs and both front main level were broken, unable to open. Replace broken window locks



9.5 Item 1(Picture)



9.5 Item 2(Picture)

9.6 BATHROOMS

Comments: Inspected

9.7 INTERIOR DOORS

Comments: Inspected

Missing door knob on knee wall attic door so door will close and latch.



9.7 Item 1(Picture)

9.8 PESTS

Comments: Inspected, Repair or Replace

🐭 There is evidence of rodent activity in the attic spaces as noted by tunnels/trails in attic insulation and some chewed batts insulation in the front attic space. No evidence of droppings or nesting were seen at the time of the inspection. A wildlife company should be consulted to determine if the activity is past or present and to repair all possible entry points to the attic and the entire home



9.8 Item 1(Picture) chewed batts insulation



9.8 Item 2(Picture) rodent trails in attic insulation

10. Built-In Kitchen Appliances

Items

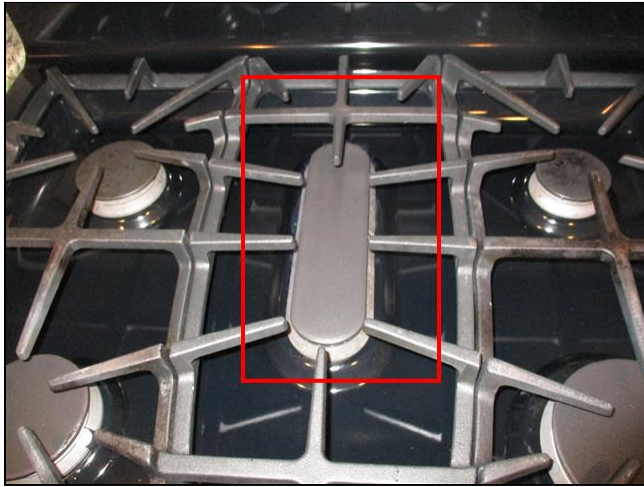
10.0 DISHWASHER

Comments: Inspected

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected

The center burner on the stovetop did not light the full perimeter of burner, Have corrected.



10.1 Item 1(Picture)

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Inspected

10.4 MICROWAVE

Comments: Inspected

10.5 REFRIGERATOR

Comments: Inspected


11. Infrared Inspection

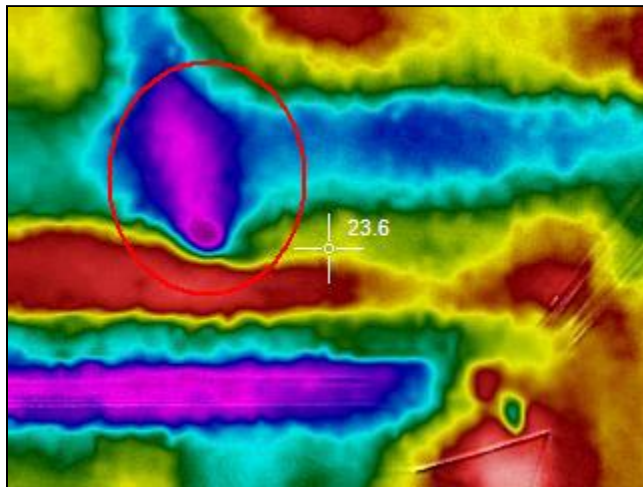
This is a limited infrared scan of the areas noted on this page report. The use of a thermal camera, by nature, is limited. Conditions that are outside of the inspector's control may affect the thermal camera's results. A thermal camera relies on temperature differential to give accurate results. If proper temperature differentials do not exist inside and outside of the structure at the time of inspection, results will be affected. A thermal camera does not see inside of walls or through objects and only detects temperature differential. This inspection is not an energy efficiency evaluation and is not meant to determine the tightness or lack thereof, of the structure. The use of a thermal camera during this inspection is to simply assist the inspector further evaluate the areas noted on this page of the report for significant problems such as water leakage.

Items

11.1 Interior Ceiling

Comments: Inspected, Repair or Replace

 Small cold spot found on the main level front left office room at a past repair. No moisture was detect, likely low insulation. See photo for location. Have any concerns resolved prior to closing



11.1 Item 1(Picture)



11.1 Item 2(Picture)

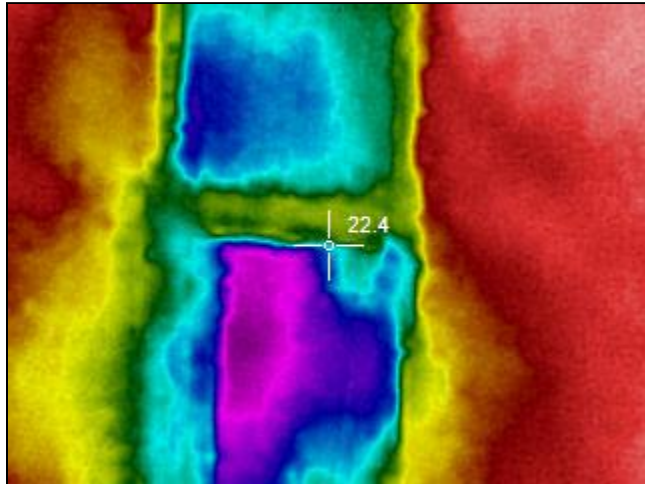
11.2 Interior Walls

Comments: Inspected

11.3 Attic Insulation

Comments: Inspected, Repair or Replace

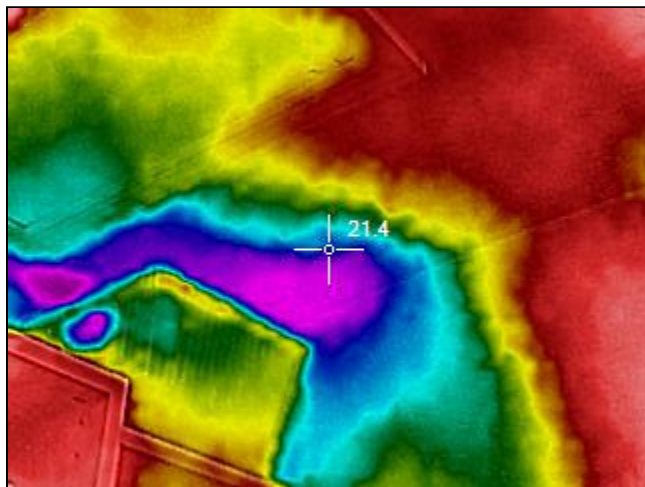
There were a couple areas of low insulation in the attic, and insulation was missing around the attic pull down stairs and the whole house fan. See photos. Have missing insulation installed



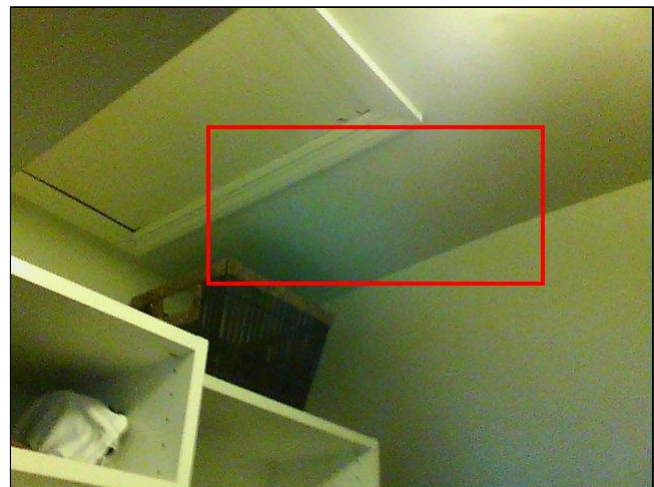
11.3 Item 1(Picture) pull down attic stairs and whole house fan



11.3 Item 2(Picture)



11.3 Item 3(Picture) right side bedroom closet ceiling

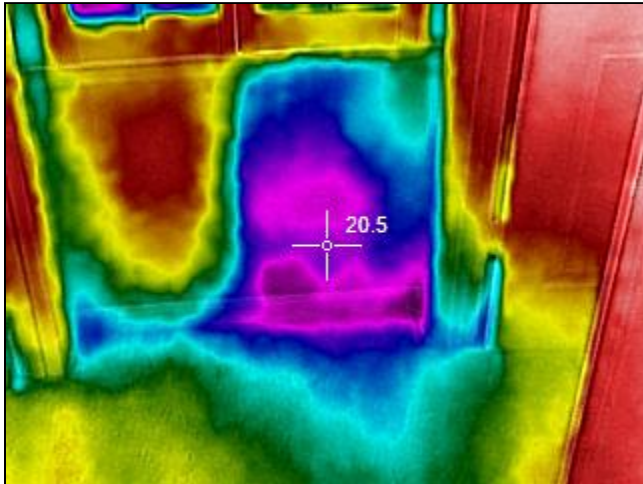


11.3 Item 4(Picture)

11.4 Wall Insulation

Comments: Inspected, Repair or Replace

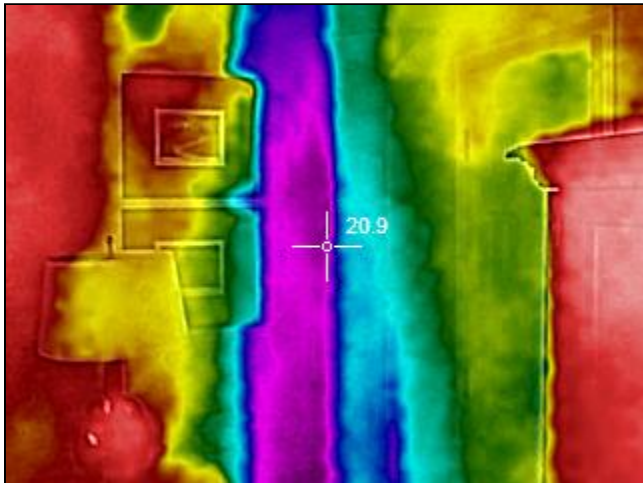
Wall insulation was seen to be missing in two spots on the second floor. See photos for location. have missing insulation installed as needed



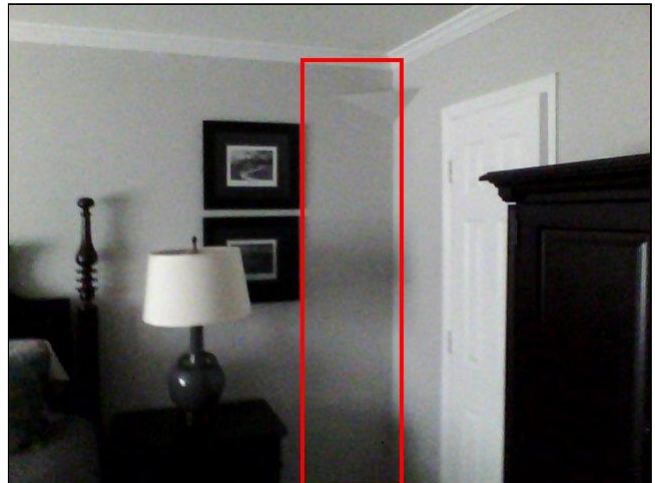
11.4 Item 1(Picture) under window at top of stairs



11.4 Item 2(Picture)



11.4 Item 3(Picture) right side bedroom



11.4 Item 4(Picture)

12. Visual Mold Evaluation

Items

12.0 Mold Present

Comments: Inspected

No visible mold or musty odors were detected in the home at the time of the inspection.