



## HOME INSPECTION

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03/17/20

4925 Wimborne Ct  
Suwanee, GA 30024



*Prepared with care for*  
Trevis Walker

*Property address*  
4925 Wimborne Ct  
Suwanee, GA 30024



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**Location of WATER Shut-Off Valve**  
Basement ceiling



**Location of GAS Shut-Off Valve**  
Meter



**Location of ELECTRICAL Panels**  
Rear

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## OBJECTIVES AND SCOPE

This document is a home inspection report designed to assist a buyer, seller or homeowner to evaluate the condition of a home, as well as its immediate surrounding areas, at a specific date and time. Scope is based on industry standards of practice and state requirements of home inspectors, which may be different from the scope and definitions allowed by model real estate contracts for purchases and addendums.

The inspector conducts an evaluation of the home and permanently-installed, readily-accessible systems and components. All components that are not inspected should be fully evaluated and tested as needed by qualified specialist prior to closing.

### **The inspection is limited in scope.**

The inspection is not intended to be an exhaustive evaluation of a home, systems or components. The inspector does not disassemble equipment, dismantle items, move furnishings or stored items, lift floor coverings, open walls, or disturb items which belong to the occupant(s). The inspector may not specifically address every component in the home, e.g., numerous items such as windows, electrical outlets and light fixtures may be randomly selected and evaluated. The inspector does not evaluate items that are inaccessible, concealed or underground. Therefore, the home or property may have issues that cannot be discovered by the inspector. For more information, please refer to Limitations and Exclusions in our Inspection Services Agreement.

### **The inspection addresses visible and apparent conditions which exist at the date and time of the inspection.**

The inspector endeavors to identify and accurately report on visible issues which affect the construction, general maintenance, and overall safety of the home and its immediate surrounding areas. Conditions may change, perhaps dramatically, between the date and time of the inspection and the date and time of settlement and/or move-in.

### **The inspection report reflects observations and opinions of the inspector.**

Subsequent inspections or evaluations performed by other parties may yield different, and in some cases, contradictory findings. There can be several reasons for discrepancies in findings, including the interval between inspections, differences in the objectives or scope of each inspection, and background, training, and subjective opinions and experiences of the individuals performing an inspection.

### **The inspection does not eliminate all risks involved in a real estate transaction.**

The inspection does not anticipate subsequent events or changes in performance of the home due to changes in use or occupancy. We recommend that you obtain information which is available about the home and property, including seller's disclosures, previous inspection reports, engineering reports, building permits, remodeling permits, and reports delivered for or by municipal inspection departments, lenders, relocation companies, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have occurred.

### **The inspection is not a code inspection.**

The inspection may address issues which refer to a particular code but the inspector does not conduct a code compliance inspection or code safety inspection, and does not verify compliance with manufacturer's installation instructions for any system or component. We are not authorized to regulate or enforce code compliance, and must instead operate under the reasonable presumption that the home is compliant with all code requirements. Please contact the relevant government authority or original equipment manufacturer for information related to construction, addition or remodeling permits, energy efficiency ratings, or other issues relating to code compliance.

**GENERAL INFORMATION****CLIENT**

Name Trevis Walker

**AGENT/REALTOR®**Name Jenny Martin  
E-mail jennymartinrealtor@gmail.com**INSPECTOR**Name Bruce Ramsey  
E-mail BRamsey@usinspect.com**INSPECTION DETAILS**

Property type	Single Family
Year built	1994
Approximate square feet	2960
Inspection date	03/17/20
Inspection start time	1:05PM
Temperature (F)	53
Weather (today)	Fog
Weather (yesterday)	Rain
Direction in which home faces	South
Parties present at start of inspection	Buyer's Realtor
Occupied	Occupied
# of Additional Structures	0
Wired security system installed	Yes

Directions referred to in this report (i.e. left side, rear, etc.) assume you are facing the home from the front. Please note that this inspection does not include any research on the property's permit history.

Each of our inspectors is a Certified Real Estate Thermographer, having completed rigorous training developed by a Level III Certified Thermographer consisting of 8 hours in the classroom, 8 hours in the field, a proctored exam, and continuing education. Our training is approved for continuing education credits by ASHI and NACHI, the nation's largest professional inspector associations.

The infrared scan does not replace any portion of a traditional home inspection. Rather, it complements and provides a more thorough inspection of the property. Additionally, infrared increases confidence in the property's condition, reduces guesswork, and provides a more accurate diagnosis when problems are found.

**LIMITATION**

Storage/personal items restrict access to various interior components; therefore, the inspection of such components is limited.

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## DEFINITION OF TERMS

	Acceptable	<i>Performs intended function.</i>
	Not Present	<i>Does not exist in home or on property.</i>
	Not Inspected	<i>Inaccessible, seasonal impediment, etc.</i>
	Maintenance	<i>Requires maintenance or proactive measures to ensure proper function; corrective action is required to prevent deterioration or the need for more serious repairs in the near future.</i>
	Repair	<i>Excessively worn, non-functioning, or missing part of a system; corrective action generally is required to ensure proper operation and/or to improve system reliability or condition.</i>
	Safety Issue	<i>Violation of established safety standards.</i>
	Major Concern	<i>Structurally unsound, unsafe, and/or inoperative; likely to require significant expense.</i>
	Infrared	<i>Includes photo captured with infrared camera.</i>

**SUMMARY**

**EXTERIOR**

- Driveway
- Walks
- Siding 1
- Siding 2
- Trim
- Chimney
- Doors
- Stairs/Steps
- Stoop
- Porch
- Deck/Balcony
- Patio
- Fence
- Retaining Wall
- Garage Vehicle Door
- Garage Vehicle Door Opener
- Carport

**ROOF**

- Covering 1
- Covering 2
- Flashing
- Skylight

**WATER CONTROL**

- Gutter/Downspout
- Drain
- Grading
- Window Well
- Sump Pump

**STRUCTURE**

- Foundation
- Beams
- Piers/Posts
- Floor
- Wall
- Roof
- Roof Sheathing
- Attic
- Crawl Space

**INSULATION AND VENTILATION**

- Attic Insulation
- Interior Insulation
- Crawl Space Insulation
- Ventilation
- Humidity Control

**INTERIOR**

- Floors
- Walls
- Ceilings
- Stairs/Steps
- Cabinets
- Countertops
- Doors
- Windows
- Fireplace
- Fuel-burning Appliances

**ELECTRICAL**

- Service
- Panel
- Sub-Panel
- Branch Circuits
- Grounding/Bonding
- Receptacles
- Switches
- Fixtures
- Smoke Detectors
- CO Detectors

**HVAC**

- Heating System 1
- Heating System 2
- Heating System 3
- Cooling System 1
- Cooling System 2
- Cooling System 3
- Distribution
- Humidifier
- Thermostat

**PLUMBING**

- Service
- Main Shut-off
- Supply Pipes
- Drain, Waste, Vents
- Toilet
- Tub/Shower
- Sink
- Water Heater
- Whirlpool Tub
- Hose Faucet
- Waste Ejector
- Fire Suppression System

**FUEL SERVICES**

- Tanks
- Meter

**APPLIANCES**

- Range/Oven
- Oven
- Microwave
- Cooktop
- Garbage Disposal
- Dishwasher
- Refrigerator/Freezer
- Ventilation System
- Washer
- Dryer

**ENVIRONMENTAL**

- Rodents

## SUMMARY OF ISSUES

### SAFETY ISSUE

Page

#### Exterior - Walks

- 01 The walk is settled or heaved. Uneven walking surfaces may cause someone to trip and fall. This is a safety concern. [19](#)  
**Location:** Front. *Repair the walk.*

#### Exterior - Stairs/Steps

- 02 The handrail is missing. This is a safety concern. Stairs with 4 more risers or more than 32" in height gain require a hand rail along one side. **Location:** Rear deck. *Install a handrail.* [22](#)

#### Exterior - Deck/Balcony

- 03 The balusters are improperly spaced at the guardrail. The opening between balusters should not exceed 4". This is a safety concern. **Location:** Rear. *Repair or replace the balusters.* [22](#)

#### Exterior - Retaining Wall

- 04 The retaining wall guardrail is missing. This is a safety concern. **Location:** Rear. *Install a guardrail.* [23](#)

#### Exterior - Garage Vehicle Door Opener

- 05 The optical sensors are improperly installed at the garage vehicle door's automatic opener. The recommended height for safe operation is 4" - 6" from the floor. This is a safety hazard. **Location:** Attached Garage. *Reinstall optical sensors.* [23](#)

- 06 The automatic opener does not reverse properly at the garage vehicle door. It should reverse within 2 seconds of closing on a 1 - 1.5" object placed on the floor. This is a safety hazard. **Location:** Attached Garage. *Repair or replace the garage door opener.* [24](#)

- 07 The garage vehicle door opener's emergency disconnect rope is missing or too high. This is a safety hazard. **Location:** Attached Garage. *Install or lower a disconnect rope.* [24](#)

#### Structure - Attic

- 08 The pull-down stairs have loose hardware. This is a safety concern. **Location:** Laundry. *Repair or replace the hardware.* [29](#)

#### Insulation and Ventilation - Interior Insulation

- 09 There is exposed flammable insulation or insulation backing present; it should be protected using fire-rated materials. This is a safety concern. **Location:** Basement music room. *Hire a contractor for repairs or replacement as needed.* [33](#)

#### Interior - Stairs/Steps

- 10 The handrail is missing. This is a safety concern. Current standards require handrail the entire flight of the stairs. **Location:** Central. *Install a handrail.* [36](#)

- 11 The balusters are damaged or deteriorated at the handrail. This is a safety concern. **Location:** Central. *Repair or replace the balusters.* [36](#)

- 12 The handrail does not have a return back to the wall. This is a safety concern. **Location:** Basement. *Add a handrail return back to the wall.* [36](#)

#### Interior - Cabinets

- 13 The cabinet is not properly secured. This is a safety hazard. **Location:** Kitchen island. *Secure the cabinet using approved fasteners.* [37](#)

#### Interior - Windows

- 14 The window is missing safety glass. No manufacturer's mark is visible. While it may not have been required at the time of installation, this is a safety concern. **Location:** Master Bathroom. *Replace the glass with safety-rated glass.* [41](#)

- 15 The window is painted/stuck shut. This affects proper function. **Location:** Bedrooms, office, basement. *Remove the paint or repair the window as needed for proper operation.* [42](#)

#### Interior - Fireplace

- 16 The fireplace has an operable damper without a clamp that prevents the damper from closing completely. This is a safety concern. **Location:** Family Room. *Install a damper clamp.* [43](#)



## SUMMARY OF ISSUES

### Electrical - Sub-Panel

- 17 The electrical sub-panel is not labeled or is only partially labeled. All panels must be completely labeled correctly to indicate which circuits the breakers or fuses serve. **Location:** Utility Room. *Label the panel.* [46](#)
- 18 There is more than one neutral wire connected to a single contact on the neutral bar. Multiple neutral wires are not permitted under a single lug. This is a safety concern. **Location:** Utility Room. *Hire an electrician to make the required repairs.* [46](#)
- 19 There are unmarked neutral wires connected to double-pole breakers or fuses. Neutral wires must be marked to indicate that they are current-carrying conductors. This is a safety concern. **Location:** Utility Room. *Hire an electrician to make the required repairs.* [47](#)

### Electrical - Branch Circuits

- 20 There are missing cover plates, which defeats the enclosure's fire rating and permits contact with energized components. This is a safety concern. **Location:** Attic, music room. *Secure or replace the cover plates.* [47](#)

### Electrical - Receptacles

- 21 The GFCI receptacle has power, but it doesn't trip when the test button is pushed. This is a safety hazard. **Location:** Over patio, screen porch. *Hire an electrician to replace the receptacle.* [48](#)
- 22 The receptacle's cover plate is damaged. This is a shock and safety concern. **Location:** Rear bedroom, basement office. *Replace the cover plate.* [49](#)
- 23 There is a standard receptacle installed in a location that currently mandates a GFCI device. While this may not have been required at installation, it is a safety concern. **Location:** Kitchen. *Hire an electrician to replace the receptacle.* [49](#)

### Electrical - Fixtures

- 24 The light fixture's glass globe or panel is damaged or missing. This is a safety concern. **Location:** Basement office. *Replace the globe or panel.* [50](#)
- 25 The light fixture is inoperative. This affects proper function. Sparks shot out from the ceiling fan light combo when the pull chain was operated. The circuit breaker tripped. **Location:** Theater. *Further evaluate and repair as needed by an electrician.* [50](#)

### Electrical - Smoke Detectors

- 26 The smoke detectors are 10+ years old and beyond their life expectancy. This is a safety hazard. **Location:** Entire Home. *Replace the smoke detectors.* [50](#)

### Electrical - CO Detectors

- 27 Carbon monoxide detectors are missing. The home has fuel burning appliances or components which may emit CO in their exhaust gases, or an attached garage with door(s) connected to the living space. This is a safety hazard. **Location:** Entire Home. *Install carbon monoxide detectors as needed.* [51](#)

### Plumbing - Drain, Waste, Vents

- 28 The drain pipe is a corrugated or accordion style. The folds may capture debris and clog. **Location:** Kitchen. *Hire a plumber to replace the pipe.* [60](#)

### Plumbing - Water Heater

- 29 The water heater 4" exhaust flue joins a 6" exhaust flue. The larger exhaust flue is likely oversized for a single device. This can lead to cooling of the gasses and carbon monoxide poisoning or back drafting. **Location:** Utility Room. *Recommend further evaluation and repair as needed by a HVAC contractor.* [61](#)

### Environmental - Rodents

- 30 There is evidence of rodent activity within the home. This is a health and safety concern. **Location:** Attic. *Hire a specialist for an evaluation and to make required repairs.* [65](#)

## REPAIR

### Exterior - Trim

- 31 There is evidence of insect damage to the trim. There may be hidden damage behind the trim. **Location:** Left rear corner. *Replace the trim and repair any damage which may be revealed.* [19](#)

## SUMMARY OF ISSUES

- 32 The trim is deteriorated. This permits moisture to enter and may cause further deterioration. There may be hidden damage behind the trim. **Location:** Rear windowsills & door, bay window. *Replace the trim and repair any damage which may be revealed. Caulk, one-part putty fillers, and paint are not acceptable substitutes for solid material.* [20](#)
- 33 The paint on the trim is peeling or blistering. This implies that moisture has penetrated behind the finishes. **Location:** Garage window. *Repair or replace the trim and repair any damage which may be revealed.* [21](#)
- Exterior - Stairs/Steps**
- 34 There is excessive settlement at the steps. This may cause someone to trip and fall, and is a water penetration concern. **Location:** Front. *Repair and stabilize the steps to prevent further settlement. Repair and seal any gaps to prevent moisture intrusion.* [21](#)
- Exterior - Porch**
- 35 Portions of the porch are undermined. This may lead to further erosion of the soil, and may cause settlement or failure of the porch. **Location:** Front. *Repair and stabilize the porch to prevent further settlement.* [22](#)
- Exterior - Retaining Wall**
- 36 The retaining wall is leaning. **Location:** Rear. *Hire a contractor to evaluate the movement and provide repairs as needed.* [23](#)
- Roof - Covering 1**
- 37 There are tree limbs touching or near the roof. This may damage the roofing and permit water penetration. **Location:** Right Side. *Remove the tree limbs.* [26](#)
- 38 There is a light colored stringy substance on the roof surface around a vent. Unable to determine what the material is or why it's there. **Location:** Left Side. *Recommend further evaluation and repair as needed.* [26](#)
- Structure - Foundation**
- 39 There is minor cracking in the foundation wall. No settlement or displacement is visible. **Location:** Utility room. *Repair and seal the cracks.* [28](#)
- Structure - Roof Sheathing**
- 40 There is expandable foam around a waste vent pipe at the roof sheathing. This is commonly done to prevent leaks. **Location:** Right side. *Recommend further evaluation and repair as needed.* [29](#)
- Structure - Attic**
- 41 The seal or insulation at the attic access is inadequate. This permits energy loss and permits moisture to enter the attic. **Location:** Main Home. *Repair or replace the seal and add insulation as needed.* [30](#)
- Insulation and Ventilation - Attic Insulation**
- 42 The level of insulation is considered inadequate by today's standards. Current standards require R-30 or approximately 8" of cellulose. **Location:** Multiple Locations. *Install additional insulation in accordance with local guidelines.* [32](#)
- Interior - Ceilings**
- 43 The ceiling is water damaged. Testing with a moisture meter indicates low moisture content (dry). **Location:** Bedroom closet, garage ceiling. *Hire a contractor for an evaluation and to make repairs as needed.* [35](#)
- Interior - Doors**
- 44 The door is damaged. This affects proper function. **Location:** Master bedroom, bathroom. *Repair or replace the door.* [39](#)
- 45 The door hardware is missing. This affects proper operation. The upper door latch is missing. **Location:** Master Bathroom. *Install hardware as needed.* [39](#)
- 46 The door does not fit properly within frame. It is binding and/or has large gaps. This affects its function. **Location:** Masterbath, front bedroom. *Adjust or replace the door.* [40](#)
- 47 The louver door is missing or has a broken louver. **Location:** Basement. *Repair or replace damaged door.* [40](#)
- 48 The door rubs on the carpet or floor. This may cause damage. **Location:** Basement office. *Adjust or replace the door.* [40](#)
- Interior - Windows**
- 49 The window screens have been removed and stored on the exterior. **Location:** Right rear. *Replace the screens.* [41](#)
- 50 The paint is peeling or failed on the interior window. **Location:** Master closet. *Prepare by a painter.* [41](#)



## SUMMARY OF ISSUES

- 51 The window has a failed insulated glass seal. This permits condensation stains to develop between the glass panes, and may increasingly compromise the visibility, appearance, and insulation value. Other unidentified windows with the same issue may exist since certain atmospheric conditions must be present to identify them. Replacement of the insulated glass unit, the sash, or the entire window assembly is necessary to correct the problem. **Location:** Dining Room. *Replace the insulated glass unit or the window as needed.* [43](#)
- HVAC - Cooling System 1**
- 52 The insulation is damaged or missing at the AC system's suction line. This affects the system's efficiency. **Location:** Right Side Exterior. *Install an exterior-grade pipe insulation on the suction line.* [57](#)
- 53 The condensate system's discharge point is improperly located. The condensate must be carried to the exterior and away from the building to prevent water damage and mold or mildew problems. **Location:** Right Side Exterior. *Redirect the discharge away from the structure.* [57](#)
- HVAC - Distribution**
- 54 There are damaged or missing supply registers. The airflow cannot be properly controlled. **Location:** Family room. *Replace or install registers as needed.* [57](#)
- Plumbing - Service**
- 55 The water pressure is too high. Pressure higher than 80 psi may cause pipes, valves, and faucets to fail prematurely. **Location:** Rear. *Hire a plumber to evaluate the water system and to make required repairs.* [60](#)
- Plumbing - Sink**
- 56 The sink stopper is not adjusted properly. The basin does not hold water without draining. **Location:** Master Bathroom. *Adjust or repair the stopper as needed.* [61](#)
- Plumbing - Water Heater**
- 57 The expansion tank is not independently supported. This stresses pipes and fittings and may cause leaks. **Location:** Utility Room. *Hire a plumber to secure the expansion tank.* [61](#)

## MAINTENANCE

### Interior - Doors

- 58 The door does not latch properly. This affects proper function. **Location:** Bedroom, office. *Adjust the door, the latch mechanism, or the striker plate as needed.* [38](#)

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PHOTOS



## INFRARED SCAN PHOTOS

US Inspect utilizes infrared thermography during home inspections. Our inspectors use infrared cameras to scan walls, ceilings, and floors; infrared cameras identify small variances in temperature which could indicate a roof leak, plumbing leak, exterior moisture intrusion, or an electrical concern. **The images on this page show our inspector performing the infrared scan. Any actual defects discovered during this part of the inspection will appear in the Issues section(s) of your report.**



**EXTERIOR**

**LOTS AND GROUNDS**

Driveway	Concrete
Walks	Concrete
Patio	Open, Pavers
Fence	Wood, Wire
Retaining Wall	Landscaping Timbers, Multiple Locations

**EXTERIOR**

Siding	Brick Veneer, Composition Board/Hard Board
Chimney	Metal in Framed Enclosure
Doors	Metal
Porch	Brick, Concrete, Open
Deck/Balcony	Wood
Garage Vehicle Door	Metal, Overhead Sectional

**LIMITATIONS**

Chimney	Visibility and accessibility of the chimney interior is limited. No determination of the interior condition, lining, or its ability to function safely and properly can be made. Consult a chimney specialist for a comprehensive evaluation prior to closing as needed.
Deck/Balcony	The deck cannot be properly inspected because its low clearance above the grade prevents unobstructed access. Therefore, the inspection is limited.
Retaining Wall	Retaining walls are visually inspected for deterioration, leaning or other signs of failure. Portions of the structural components are below grade and therefore cannot be inspected. Determination of the adequacy of a retaining wall is outside the scope of a home inspection absent any signs of failure.

**INFORMATION**

Siding requires periodic maintenance, including cleaning. Add finish (paint or stain) to areas which may become unprotected due to erosion by weather.

All window and door penetrations, siding terminations and trim intersections should be sealed on a routine basis to help prevent water penetration.

For homes with garage overhead door openers, test the safety return periodically to ensure proper working order. To test the door opener, place a 2x4 block flat on the floor and close the door; the door should reverse within 2 seconds without damaging the door.

**Exterior - Siding**

A composition board siding is present. Some of these types of siding material are vulnerable to deterioration and disfigurement due to moisture absorption at the bottom edges and at butt joints. Wavy bulges are also common. Diligent maintenance is needed at all joints and edges to prevent deterioration. A regular painting schedule with a good primer and top coat should be followed to ensure reliable performance.

**Exterior - Trim**

Wood trim is subject to deterioration and requires periodic maintenance, including cleaning. Keep trim material sealed with paint or stain to protect it from moisture penetration. Repair and caulk gaps prior to recoating.

**Exterior - Deck/Balcony**

Wood decks, even if constructed of pressure-treated wood framing, require periodic maintenance. Wood decks generally need preservative applications regularly. If water does not bead on the deck, treat the deck with products that protect the wood from UV rays and water absorption.



EXTERIOR

PHOTOS

Exterior - Patio



Exterior - Fence



Exterior - Retaining Wall



Exterior - Retaining Wall



Exterior - Stairs/Steps



Exterior - Deck/Balcony






EXTERIOR


COMMENTS

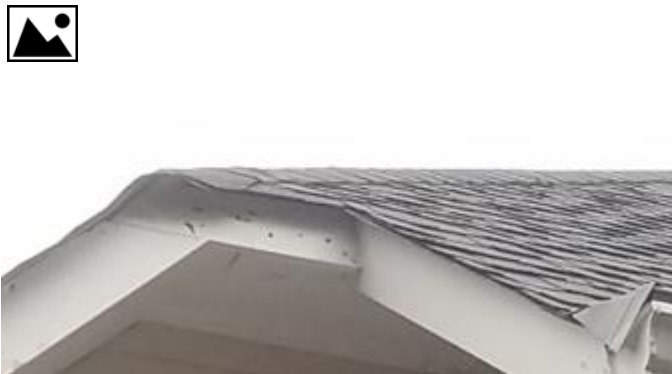
Exterior - Walks

-  Issue The walk is settled or heaved. Uneven walking surfaces may cause someone to trip and fall. This is a safety concern.
- Location Front
- Action *Repair the walk.*



Exterior - Trim

-  Issue There is evidence of insect damage to the trim. There may be hidden damage behind the trim.
- Location Left rear corner
- Action *Replace the trim and repair any damage which may be revealed.*



**EXTERIOR**

- Issue** The trim is deteriorated. This permits moisture to enter and may cause further deterioration. There may be hidden damage behind the trim.
- Location** Rear windowsills & door, bay window
- Action** *Replace the trim and repair any damage which may be revealed. Caulk, one-part putty fillers, and paint are not acceptable substitutes for solid material.*





**EXTERIOR**

- X** Issue The paint on the trim is peeling or blistering. This implies that moisture has penetrated behind the finishes.
- Location Garage window
- Action *Repair or replace the trim and repair any damage which may be revealed.*



**Exterior - Stairs/Steps**

- X** Issue There is excessive settlement at the steps. This may cause someone to trip and fall, and is a water penetration concern.
- Location Front
- Action *Repair and stabilize the steps to prevent further settlement. Repair and seal any gaps to prevent moisture intrusion.*



**EXTERIOR**

- Issue** The handrail is missing. This is a safety concern. Stairs with 4 more risers or more than 32" in height gain require a hand rail along one side.
- Location** Rear deck
- Action** *Install a handrail.*



**Exterior - Porch**

- Issue** Portions of the porch are undermined. This may lead to further erosion of the soil, and may cause settlement or failure of the porch.
- Location** Front
- Action** *Repair and stabilize the porch to prevent further settlement.*



**Exterior - Deck/Balcony**

- Issue** The balusters are improperly spaced at the guardrail. The opening between balusters should not exceed 4". This is a safety concern.
- Location** Rear
- Action** *Repair or replace the balusters.*





**EXTERIOR**

**Exterior - Retaining Wall**

- X** Issue The retaining wall is leaning.
- Location Rear
- Action Hire a contractor to evaluate the movement and provide repairs as needed.



- !** Issue The retaining wall guardrail is missing. This is a safety concern.
- Location Rear
- Action Install a guardrail.



**Exterior - Garage Vehicle Door Opener**

- !** Issue The optical sensors are improperly installed at the garage vehicle door's automatic opener. The recommended height for safe operation is 4" - 6" from the floor. This is a safety hazard.
- Location Attached Garage
- Action Reinstall optical sensors.



**EXTERIOR**

- 🔧 Issue The automatic opener does not reverse properly at the garage vehicle door. It should reverse within 2 seconds of closing on a 1 - 1.5" object placed on the floor. This is a safety hazard.  
Location Attached Garage  
Action *Repair or replace the garage door opener.*



- 🔧 Issue The garage vehicle door opener's emergency disconnect rope is missing or too high. This is a safety hazard.  
Location Attached Garage  
Action *Install or lower a disconnect rope.*



**ROOF**

**COVERING 1**

Location	Main Structure
Material	Fiberglass Architectural Shingle
Age (Years)	8 to 12
Estimated Useful Life When New (Years)	25 to 35
Inspection Method	Viewed from ground with binoculars
What prevents walking the entire roof?	Height Rain

**COVERING 2**

Location	Other
Material	Pre-Coated Metal
Age (Years)	25 to 35
Estimated Useful Life When New (Years)	50 to 80
Inspection Method	Viewed from ground with binoculars
What prevents walking the entire roof?	Design/Slope

**INFORMATION**

Estimated remaining life of roofing is subjective and depends on numerous criteria, which vary by roof and may include the following variables:

- i) direction and exposure to the sun, i.e., the more directly the roof is exposed to the sun, the shorter the roof's life, e.g., south-facing slope generally wears out faster than a north-facing slope;
- ii) slope of the roof, i.e., the higher the slope, the faster water drains off, e.g., higher- sloped roofs generally last longer than lower-sloped roofs;
- iii) color of the roof, i.e., lighter roofs are cooler and generally last longer; color may affect the temperature of the roof surface by as much as 10F to 20F;
- iv) weight of the roof covering, i.e., heavier shingles typically last longer than lighter shingles;
- v) quality of the sheathing, i.e., type and thickness of materials used; and
- vi) attic ventilation, i.e., proper attic ventilation helps to control temperature of the roof during hot weather and is essential to reduce moisture-related sheathing damage.

Estimates of age and remaining life are based on an inspector's experience, as well as numerous assumptions and variables, including the aforementioned variables. Therefore, inspector estimates should be considered a general guide.

Please note that roof leaks often are due to flashing or valley failures. If there are roofing leaks, inspect the flashings or valleys before assuming that damaged or deteriorated roofing material is the cause of the water penetration.

**PHOTOS**


Roof - Skylight




ROOF

COMMENTS

Roof - Covering 1

-  Issue There are tree limbs touching or near the roof. This may damage the roofing and permit water penetration.
- Location Right Side
- Action *Remove the tree limbs.*



-  Issue There is a light colored stringy substance on the roof surface around a vent. Unable to determine what the material is or why it's there.
- Location Left Side
- Action *Recommend further evaluation and repair as needed.*





**STRUCTURE**

**FOUNDATION**

Foundation	Basement, Poured Concrete
Beams	Wood
Piers and Posts	Unable to Determine
Floor	Conventional Framing
Walls	Wood Framing
Roof	Conventional Framing, Dimensional lumber
Roof Sheathing	Oriented Strand Board (OSB)

**ATTIC**

Access Location	Laundry
Access Type	Pull-down stairs
% Visibility	70
Inspection Method	Entered

**LIMITATIONS**

Beams	Some areas are inaccessible and/or not visible due to design, finished surfaces, and materials. Therefore, the inspection is limited.
Piers/Posts	Some areas are inaccessible and/or not visible due to design, finished surfaces, and materials. Therefore, the inspection is limited.
Attic	Some attic areas are inaccessible and/or not visible due to height, design and materials. Therefore, the inspection is limited.

**PHOTOS**

View from Attic Entry

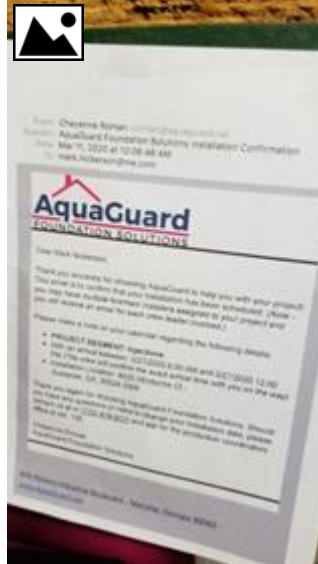


**STRUCTURE**

**COMMENTS**

**Structure - Foundation**


- X** Issue There is minor cracking in the foundation wall. No settlement or displacement is visible.
- Location Utility room
- Action *Repair and seal the cracks.*






## STRUCTURE

### Structure - Roof Sheathing

-  Issue There is expandable foam around a waste vent pipe at the roof sheathing. This is commonly done to prevent leaks.
- Location Right side
- Action *Recommend further evaluation and repair as needed.*




### Structure - Attic

-  Issue The pull-down stairs have loose hardware. This is a safety concern.
- Location Laundry
- Action *Repair or replace the hardware.*



## STRUCTURE

-  **Issue** The seal or insulation at the attic access is inadequate. This permits energy loss and permits moisture to enter the attic.
- Location** Main Home
- Action** *Repair or replace the seal and add insulation as needed.*



## WATER CONTROL

### ROOF DRAINAGE

Gutters and Downspouts

Aluminum, Conventional

### STRUCTURAL DRAINAGE

### LIMITATIONS

Gutter/Downspout

Downspout(s) discharge into an underground drainage system. The condition of underground portions of the drainage system cannot be inspected.

Visibility of, and accessibility to, the gutters limits the inspection.

### INFORMATION

The overwhelming majority of water penetration problems is caused by surface water that is not managed properly. Grading which slopes towards the foundation of the home permits water to accumulate at the foundation; poor maintenance of gutter and downspout systems also contributes to water accumulation problems.

Grading around the home should be maintained so that surface water does not accumulate close to the foundation. Grading should slope away from the home at a rate of approximately 1" per 1' for at least 6'.

In order to divert water away from the foundation, soil must be dense and slope away from the foundation. In situations in which regrading is not a reasonable option, an interior hydrostatic pressure relief system with a sump pump may be required.

Keep gutters and downspouts clean and free of debris or obstructions. Gutters which hold water tend to sag, overflow, and may cause water penetration to occur through below grade foundation walls. Homes near trees require more frequent gutter and downspout cleaning to ensure continued proper functionality. Roof gutters should be installed with adequate slope towards the downspouts to allow for proper draining of the gutters. Downspouts should deposit roof water away from the walls of the house with splash blocks or downspout extensions. The grades in the areas where the water is being deposited must slope away from the walls and properly divert water from the house.

## INSULATION AND VENTILATION

### INSULATION

Attic Insulation	Fiberglass Batts, Cellulose
Approximate Depth "	10
Interior Insulation	Fiberglass Batts
Approximate Depth "	6

### VENTILATION

Ventilation	Gable Vent, Ridge Vent, Soffit Vent, Attic Fan, Bathroom Fan
-------------	--


### INFORMATION

Ventilation is critically important in any property that has an unconditioned attic area. During summer or humid months, inadequate attic ventilation can lead to roof degradation because of high temperatures or moisture. During winter or colder months, inadequate attic ventilation can lead to condensation, mold or mildew development, sheathing problems and indoor air quality problems.

Ice dam leaks occur in winter if a roof system is not properly ventilated and/or insulated. The situation usually occurs when outside temperatures are below freezing and the attic temperature is above freezing with snow on the roof. As snow melts, it runs down the roof, and then refreezes at the colder eaves, forming an ice dam, which backs up under the roof covering near the eaves. The general remedy to ice damming is to improve attic ventilation and/or insulation, the objectives of which are to provide proper air flow and to keep the attic and roof sheathing as cool as possible.

## COMMENTS

### Insulation and Ventilation - Attic Insulation

-  **Issue** The level of insulation is considered inadequate by today's standards. Current standards require R-30 or approximately 8" of cellulose.
- Location** Multiple Locations
- Action** *Install additional insulation in accordance with local guidelines.*



## INSULATION AND VENTILATION

### Insulation and Ventilation - Interior Insulation

- Issue There is exposed flammable insulation or insulation backing present; it should be protected using fire-rated materials. This is a safety concern.
- Location Basement music room
- Action *Hire a contractor for repairs or replacement as needed.*



**INTERIOR**

**INTERIOR**

Floors	Carpeting, Wood, Ceramic Tile
Walls	Drywall
Ceilings	Drywall, Suspended Tiles
Stairs/Steps	Conventional
Windows	Double Hung, Fixed, Wood

**FIREPLACE**

Location	Family Room
Type	Prefabricated
Materials	Concrete Panels

**LIMITATIONS**

Fireplace	It is not possible to tell if a fireplace and flue can properly “draft”, i.e., carry smoke and combustion exhaust gases fully and safely to the exterior. Absent soot and/or stains on the fireplace exterior, this can only be determined when the fireplace is in use. Consult a chimney specialist for a comprehensive evaluation prior to closing as needed.
-----------	--

**INFORMATION**

Insulated glass is comprised of two panes of glass with dry air or inert gas sealed between the panes. If a seal fails, air and moisture penetrate between the panes and, as temperatures vary, moisture vapors between the panes of glass turn to liquid and stain the inside of the glass. In most cases, staining is visible; however, it may be difficult to identify the impact of a seal failure in its early stages. Reflection of light also make failures difficult, or impossible, to identify. Although failed seals may incrementally impair insulating qualities of the glass, aesthetics generally is a more important concern. To resolve failed insulated glass seals, insulated glass units or the entire sash must be replaced. If there are any windows with failed insulated glass seals, carefully examine all other similar types of windows.


**Interior - Fireplace**

Clean and service fireplaces annually. The flue pipe and chimney also should be cleaned and examined regularly.

INTERIOR

COMMENTS

Interior - Ceilings

-  Issue The ceiling is water damaged. Testing with a moisture meter indicates low moisture content (dry).
- Location Bedroom closet, garage ceiling
- Action *Hire a contractor for an evaluation and to make repairs as needed.*




Moisture Meter






INTERIOR


Interior - Stairs/Steps

-  Issue The handrail is missing. This is a safety concern. Current standards require handrail the entire flight of the stairs.  
Location Central  
Action *Install a handrail.*



-  Issue The balusters are damaged or deteriorated at the handrail. This is a safety concern.  
Location Central  
Action *Repair or replace the balusters.*



-  Issue The handrail does not have a return back to the wall. This is a safety concern.  
Location Basement  
Action *Add a handrail return back to the wall.*





## INTERIOR

### Interior - Cabinets

- Issue The cabinet is not properly secured. This is a safety hazard.
- Location Kitchen island
- Action *Secure the cabinet using approved fasteners.*



## INTERIOR

### Interior - Doors

- Ⓜ Issue The door does not latch properly. This affects proper function.
- Location Bedroom, office
- Action *Adjust the door, the latch mechanism, or the striker plate as needed.*



INTERIOR

- X** Issue The door is damaged. This affects proper function.  
Location Master bedroom, bathroom  
Action *Repair or replace the door.*



- X** Issue The door hardware is missing. This affects proper operation. The upper door latch is missing.  
Location Master Bathroom  
Action *Install hardware as needed.*



INTERIOR

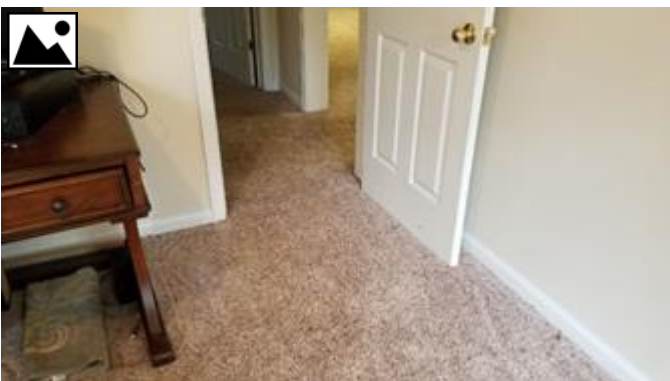
- X** Issue The door does not fit properly within frame. It is binding and/or has large gaps. This affects its function.  
Location Masterbath, front bedroom  
Action *Adjust or replace the door.*



- X** Issue The louver door is missing or has a broken louver.  
Location Basement  
Action *Repair or replace damaged door.*



- X** Issue The door rubs on the carpet or floor. This may cause damage.  
Location Basement office  
Action *Adjust or replace the door.*





INTERIOR

Interior - Windows

- X** Issue The window screens have been removed and stored on the exterior.  
Location Right rear  
Action *Replace the screens.*



- X** Issue The paint is peeling or failed on the interior window.  
Location Master closet  
Action *Prepare by a painter.*



- !** Issue The window is missing safety glass. No manufacturer's mark is visible. While it may not have been required at the time of installation, this is a safety concern.  
Location Master Bathroom  
Action *Replace the glass with safety-rated glass.*



INTERIOR

- 🔗 Issue The window is painted/stuck shut. This affects proper function.
- Location Bedrooms, office, basement
- Action *Remove the paint or repair the window as needed for proper operation.*



**INTERIOR**

**X** Issue The window has a failed insulated glass seal. This permits condensation stains to develop between the glass panes, and may increasingly compromise the visibility, appearance, and insulation value. Other unidentified windows with the same issue may exist since certain atmospheric conditions must be present to identify them. Replacement of the insulated glass unit, the sash, or the entire window assembly is necessary to correct the problem.

Location Dining Room

Action *Replace the insulated glass unit or the window as needed.*



**Interior - Fireplace**

**i** Issue The fireplace has an operable damper without a clamp that prevents the damper from closing completely. This is a safety concern.

Location Family Room

Action *Install a damper clamp.*



**ELECTRICAL**

**SERVICE**

Source	Underground
Conductor	Aluminum
Disconnect	Circuit breaker
Disconnect Location	Meter panel
Incoming Amperage	200
Meter Amperage	200
Grounding/Bonding	Driven Rod, Rear

**PANEL**

Main	Circuit Breaker
Location	Rear
Amperage	200
Voltage	120/240

**DISTRIBUTION**

Sub-Panel	Circuit Breaker
Location	Utility Room
Wiring Type(s)	Non-metallic Sheathed Cable (Romex)
Wiring Material(s)	Copper

**OTHER**

Smoke Detectors	Present
Carbon Monoxide Detectors	Not Present

**LIMITATIONS**

Grounding/Bonding	The ground wire terminates below grade. The presence of a driven grounding rod cannot be verified.
-------------------	--

**INFORMATION**

The age of batteries in smoke detectors and carbon monoxide detectors is not evident; therefore, we recommend installation of new batteries upon occupancy of the home.

Please note that the function of photo-electrically controlled lights, motion detector devices, and those controlled by timers is beyond the scope of a home inspection.



ELECTRICAL

PHOTOS

Electrical - Service



Electrical - Service



Electrical - Sub-Panel




Electrical Panel 1




ELECTRICAL

COMMENTS

Electrical - Sub-Panel


-  Issue The electrical sub-panel is not labeled or is only partially labeled. All panels must be completely labeled correctly to indicate which circuits the breakers or fuses serve.
- Location Utility Room
- Action *Label the panel.*



-  Issue There is more than one neutral wire connected to a single contact on the neutral bar. Multiple neutral wires are not permitted under a single lug. This is a safety concern.
- Location Utility Room
- Action *Hire an electrician to make the required repairs.*




## ELECTRICAL

-  **Issue** There are unmarked neutral wires connected to double-pole breakers or fuses. Neutral wires must be marked to indicate that they are current-carrying conductors. This is a safety concern.
- Location** Utility Room
- Action** Hire an electrician to make the required repairs.



### Electrical - Branch Circuits

-  **Issue** There are missing cover plates, which defeats the enclosure's fire rating and permits contact with energized components. This is a safety concern.
- Location** Attic, music room
- Action** Secure or replace the cover plates.



**ELECTRICAL**

**Electrical - Receptacles**

- Issue The GFCI receptacle has power, but it doesn't trip when the test button is pushed. This is a safety hazard.
- Location Over patio, screen porch
- Action Hire an electrician to replace the receptacle.





**ELECTRICAL**

- 🔧 Issue The receptacle's cover plate is damaged. This is a shock and safety concern.
- Location Rear bedroom, basement office
- Action *Replace the cover plate.*



- 🔧 Issue There is a standard receptacle installed in a location that currently mandates a GFCI device. While this may not have been required at installation, it is a safety concern.
- Location Kitchen
- Action *Hire an electrician to replace the receptacle.*



## ELECTRICAL

### Electrical - Fixtures

- 🔧 Issue The light fixture's glass globe or panel is damaged or missing. This is a safety concern.
- Location Basement office
- Action *Replace the globe or panel.*



- 🔧 Issue The light fixture is inoperative. This affects proper function. Sparks shot out from the ceiling fan light combo when the pull chain was operated. The circuit breaker tripped.
- Location Theater
- Action *Further evaluate and repair as needed by an electrician.*




### Electrical - Smoke Detectors

- 🔧 Issue The smoke detectors are 10+ years old and beyond their life expectancy. This is a safety hazard.
- Location Entire Home
- Action *Replace the smoke detectors.*



## ELECTRICAL

### Electrical - CO Detectors

-  Issue Carbon monoxide detectors are missing. The home has fuel burning appliances or components which may emit CO in their exhaust gases, or an attached garage with door(s) connected to the living space. This is a safety hazard.
- Location Entire Home
- Action *Install carbon monoxide detectors as needed.*

**HEATING AND COOLING**

**HEATING SYSTEM 1**

Heating System	Attic
Type and Energy Source	Furnace High Efficiency, Natural Gas
Age (Years)	10
Estimated Useful Life When New (Years)	20 to 25
Manufacturer	Trane

**HEATING SYSTEM 2**

Heating System	Utility Room
Type and Energy Source	Furnace High Efficiency, Natural Gas
Age (Years)	10
Estimated Useful Life When New (Years)	20 to 25
Manufacturer	Trane

**HEATING SYSTEM 3**

Heating System	Utility Room
Type and Energy Source	Heat Pump, Electric
Age (Years)	25
Estimated Useful Life When New (Years)	20 to 25
Manufacturer	American Standard

**COOLING SYSTEM 1**

Cooling System	Right Side Exterior
Type and Energy Source	Heat Pump, Electric
Age (Years)	25
Estimated Useful Life When New (Years)	10 to 15
Manufacturer	Trane

**COOLING SYSTEM 2**

Cooling System	Right Side Exterior
Type and Energy Source	Central Split, Electric
Age (Years)	10
Estimated Useful Life When New (Years)	10 to 15
Manufacturer	Trane

**COOLING SYSTEM 3**

Cooling System	Right Side Exterior
Type and Energy Source	Central Split, Electric
Age (Years)	10
Estimated Useful Life When New (Years)	10 to 15
Manufacturer	Trane

**HEATING AND COOLING**

**DISTRIBUTION**

Distribution Ductwork  
 Is there a heat source in all living spaces? Yes

**LIMITATIONS**

Heating System 1 Comprehensive evaluation of the heat exchanger is specifically excluded from this inspection due to visibility and design limitations of combustion appliances. Comprehensive evaluation can only be obtained by dismantling or specialized testing, which is beyond the scope of this home inspection.

The home is heated by means of a high-efficiency condensing furnace or boiler. This type of appliance is more complex than conventional systems and relies on various electronic controls and sensors during operation. In addition to its more advanced electronics, the majority of components typically accessible on conventional systems are enclosed or sealed. Visual assessments are, therefore, extremely limited. We recommend annual servicing.

Heating System 2 Comprehensive evaluation of the heat exchanger is specifically excluded from this inspection due to visibility and design limitations of combustion appliances. Comprehensive evaluation can only be obtained by dismantling or specialized testing, which is beyond the scope of this home inspection.

The home is heated by means of a high-efficiency condensing furnace or boiler. This type of appliance is more complex than conventional systems and relies on various electronic controls and sensors during operation. In addition to its more advanced electronics, the majority of components typically accessible on conventional systems are enclosed or sealed. Visual assessments are, therefore, extremely limited. We recommend annual servicing.

Thermostat The inspector tests thermostat in manual mode only. Internet-capable, automatic and timed features are not tested.

**INFORMATION**

**HVAC - Heating System**

heat pump is a compressor-based HVAC system that provides both heating and cooling. Please refer to the appropriate Heating System for details on your unit. Heat pumps are only checked in either the heating or cooling mode, depending on the exterior temperature. This is done to prevent damage to the appliance.

The heating system is near or at the end of its estimated useful life. We recommend establishing a budget to replace the heating system.

**HVAC - Cooling System 1**

The cooling system is past the end of its estimated useful life. We recommend establishing a budget to replace the cooling system.

**HVAC - Cooling System 2**

The cooling system is near or at the end of its estimated useful life. We recommend establishing a budget to replace the cooling system.

**HVAC - Cooling System 3**



**HEATING AND COOLING**

The cooling system is near or at the end of its estimated useful life. We recommend establishing a budget to replace the cooling system.

**PHOTOS**

Heating System 1



HVAC - Heating System 1 Data Tag



Cooling System 1



HVAC - Cooling System 1 Data Tag

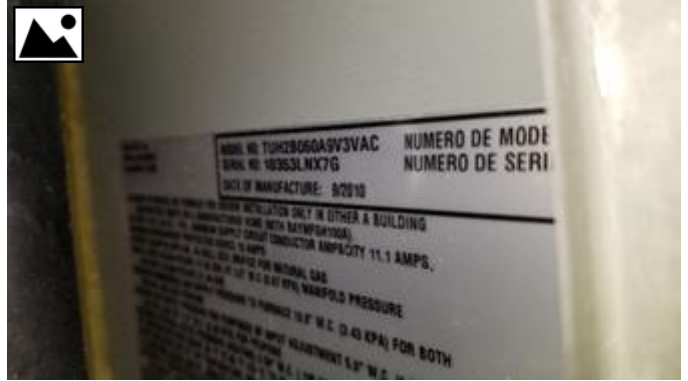


HEATING AND COOLING

Heating System 2



HVAC - Heating System 2 Data Tag



Cooling System 2



HVAC - Cooling System 2 Data Tag



HEATING AND COOLING

Heating System 3



HVAC - Heating System 3 Data Tag



Cooling System 3



HVAC - Cooling System 3 Data Tag





HEATING AND COOLING

COMMENTS

HVAC - Cooling System 1

- X** Issue The insulation is damaged or missing at the AC system's suction line. This affects the system's efficiency.
- Location Right Side Exterior
- Action *Install an exterior-grade pipe insulation on the suction line.*

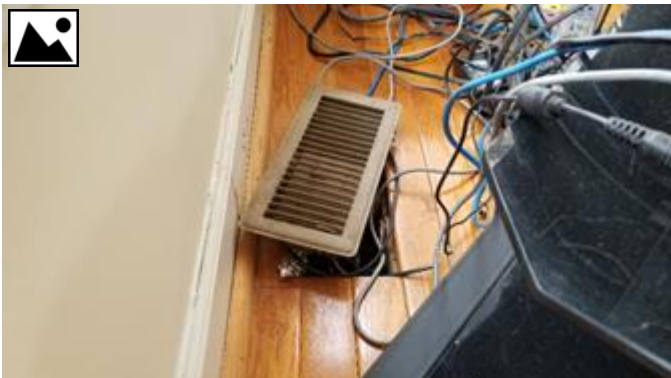


- X** Issue The condensate system's discharge point is improperly located. The condensate must be carried to the exterior and away from the building to prevent water damage and mold or mildew problems.
- Location Right Side Exterior
- Action *Redirect the discharge away from the structure.*



HVAC - Distribution

- X** Issue There are damaged or missing supply registers. The airflow cannot be properly controlled.
- Location Family room
- Action *Replace or install registers as needed.*



**PLUMBING**

**SUPPLY AND PIPES**

Service Source	Public
Service Pipe	Copper
Water Pressure (psi)	120
Main Shut-off Location	Basement ceiling
Interior Supply Piping	PEX
Waste System	Public
Drain/Waste/Vent Materials	PVC

**WATER HEATER**

Location	Basement
Type	Conventional Tank, Natural Gas
Age (Years)	12
Estimated Useful Life When New (Years)	10 to 15
Capacity (Gallons)	50
Manufacturer	Rheem

**WHIRLPOOL TUB**

Type	Interior/Installed
------	--------------------

**LIMITATIONS**

Plumbing	The inspector does not operate or test shut-off valves. The inspector does not fill sinks, bathtubs, or showers to test the function of overflow drains.
Hose Faucet	The hose faucet is winterized, which prevents operation and limits the inspection.

**INFORMATION**

Visible, accessible portions of supply and drain lines are inspected; however, most supply and drain lines are not visible and, therefore, can't be visually inspected.  
 Check drainage at all plumbing fixtures and associated appliances during pre-settlement walk-through. Recommended hot water temperature is approximately 120 °F or lower.

**Plumbing - Water Heater**

The water heater is near or at the end of its estimated useful life. We recommend establishing a budget to replace the water heater.



PLUMBING

PHOTOS

Shut-off Valve



Water Heater




Plumbing - Water Heater 1 Data Tag



PLUMBING


COMMENTS

Plumbing - Service

-  Issue The water pressure is too high. Pressure higher than 80 psi may cause pipes, valves, and faucets to fail prematurely.
- Location Rear
- Action *Hire a plumber to evaluate the water system and to make required repairs.*



Plumbing - Drain, Waste, Vents

-  Issue The drain pipe is a corrugated or accordion style. The folds may capture debris and clog.
- Location Kitchen
- Action *Hire a plumber to replace the pipe.*



**PLUMBING**

**Plumbing - Sink**

- X** Issue The sink stopper is not adjusted properly. The basin does not hold water without draining.
- Location Master Bathroom
- Action *Adjust or repair the stopper as needed.*



**Plumbing - Water Heater**

- X** Issue The expansion tank is not independently supported. This stresses pipes and fittings and may cause leaks.
- Location Utility Room
- Action *Hire a plumber to secure the expansion tank.*



- i** Issue The water heater 4" exhaust flue joins a 6" exhaust flue. The larger exhaust flue is likely oversized for a single device. This can lead to cooling of the gasses and carbon monoxide poisoning or back drafting.
- Location Utility Room
- Action *Recommend further evaluation and repair as needed by a HVAC contractor.*



FUEL SERVICES

FUEL SERVICES

Meter

Right Side

PHOTOS

Fuel Services - Meter



Shut-off Valve





## APPLIANCES

### KITCHEN

Range/Oven 1	Free-Standing, Natural Gas
Microwave 1	Built-In
Dishwasher 1	Built-In
Ventilation System 1	Recirculating

### INFORMATION

Clean dryer vents at regular intervals. Ductwork should be rigid material and as short and straight as possible. If ductwork extensions are required, sections should be taped together as opposed to connected with screws to ensure that lint does not collect on any screw points. If clothing requires an unusually long time to dry, or if airflow is weak at the exhaust end of the duct, the vent may be clogged. Dryer fires are not uncommon and dryer vent restriction is one cause of dryer fires.

## PHOTOS

Appliances - Range/Oven



Appliances - Dishwasher



Appliances - Ventilation System



Appliances - Microwave





APPLIANCES

Appliances - Garbage Disposal



Appliances - Refrigerator/Freezer



ENVIRONMENTAL

COMMENTS

Environmental - Rodents

- Issue There is evidence of rodent activity within the home. This is a health and safety concern.
- Location Attic
- Action *Hire a specialist for an evaluation and to make required repairs.*



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SEASONAL MAINTENANCE CHECKLIST

Please contact your Realtor if you would like this checklist in card format; instruct your Realtor to contact us at [marketing@usinspect.com](mailto:marketing@usinspect.com).



• SPRING •  
 Maintenance Checklist

*Every spring is the only spring,  
 a perpetual astonishment.*  
 - Edith Pargeter -

**INTERIOR**

- Remove storm windows, install screens
- Clean and lubricate your window channels
- Clean glass on windows and doors
- Reverse ceiling fans to direct heat upward

**INSULATION AND VENTILATION**

- Test your dehumidifier
- Check your attic for proper insulation
- Clean your dryer vent
- Check vents for birds, squirrels or other pests

**ELECTRICAL SYSTEMS**

- Test all smoke and CO detectors, replace batteries!
- Test and reset your GFCI and AFCI outlets/breakers

**HVAC**

- Change your filters
- Hire an HVAC contractor to service your system
- Install window AC units and ensure proper fit

**PLUMBING**

- Check all fixtures for leaks
- Check tile joints, grout and caulking
- Remove hoses from storage and open spigots
- Check faucets and valves for leaks or damage
- Check washing machine hoses



• SPRING •  
 Maintenance Checklist

**EXTERIOR**

- Repair glazing and caulk around windows and doors
- Repair cracked bricks and missing mortar
- Repair freeze/thaw cracks in drives and walks
- Repair, prime and paint areas with peeling paint
- Remove debris from yard and high traffic areas
- Search for signs of colonized insects or pests

**ROOF**

- Check your roof for damage or missing shingles
- Check for cracked flashing or damaged caulk seals
- Trim branches and trees away from the roof

**STRUCTURE**

- Check basement and foundation walls for cracks
- Check your chimney for cracks and leaks
- Check your crawl space for moisture

**WATER CONTROL**

- Test your sump pump for proper operation
- Clean your gutters and window wells
- Extend downspouts away from your foundation
- Make sure grading flows water away

**FUEL SERVICES**

- Check your gas/oil tank for odors and leaks

**PROPERTY**

- Test your lawn mower and trimmer
- Treat your lawn with fertilizer and pest control
- Power wash and seal your deck and patio
- Remove your outdoor furniture from storage
- Dewinterize and service lawn sprinklers

Schedule Your Inspection

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**LIFE EXPECTANCIES OF RESIDENTIAL SYSTEMS AND COMPONENTS**

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**EXTERIOR**

**ROOF COVERING**

Fiberglass/asphalt 3-tab	16-20
Fiberglass architectural	25-35
Cedar shake/shingle	10-30
Slate	50+
Synthetic slate	NA
Metal standing/seams	50-80
Clay/concrete tiles	50-80+
Single ply modified bitumen	16-20
EPDM/TPO/PVC	20-24

*Affected by installation procedures, exposure, and regular recoating. Coverings facing south wear more quickly. Slate affected by hardness and quarry source. Cedar affected by wood quality and maintenance. Tin roofs will remain functional if recoated every 3-5 years.*

**SIDING AND VENEER**

Cement composite	50+
Vinyl	35+
Aluminum	50+
Hardboard/composite	20-30
Stucco, brick, veneers	Lifetime

*Affected by finish, exposure to sun, and maintenance. Repoint masonry as required.*

**GUTTER/DOWNSPOUT**

Aluminum	30+
Galvanized	15-25
Copper	50-80
Plastic (PVC)	15-25

*Affected by slope and maintenance.*

**DECK**

Wood	15-25
Composite materials	25-35

*Affected by moisture, climate and maintenance.*

**HVAC**

**HEATING SYSTEM**

Hot air furnace (oil/gas)	15-25
Boiler	35-50
Heat pump	10-15
Electric baseboard	15-25
In-floor radiant (electric)	15-25

*Regular service and cleaning is essential for all systems (except for radiant); critical for oil-fired systems.*

**COOLING SYSTEM**

Central split-system	10-15
Heat pump	10-15
Evaporative cooler	10-15

*Regular service and cleaning is essential.*

**OTHER COMPONENTS**

Circulator pump	20-30
Circulator fan	15-20
Fuel tank (interior)	50-80+
Fuel tank (exterior)	30-50
Expansion tank (bladder)	15-25
Humidifier	7-10

**WELL**

Submersible pump	15-20
Above ground pump	15-20
Steel pressure tank	15-25

**SEPTIC**

Steel tank	15-20
Concrete tank	30-50
Leach field	30-50

*Septic system performance and lifespan are dependent on regular and qualified maintenance; this is especially true of "engineered" on-site treatment systems. Improper use, improper parking of vehicles, and inappropriate plantings will negatively affect a septic system.*

**PLUMBING**

*Affected by water quality and quality of installation. Fixtures may require new cartridges and seals; toilets may require new internal parts.*

Water Service (Public)	
Lead	75-10
Galvanized steel	40-60
Copper	75+
Plastic	NA
Interior Water Pipes	
Galvanized steel	40-60
Copper	75+
Plastic	NA

Drainage Line	
Galvanized steel	40-60
Copper	50-75
Cast iron	60-90
ABS/PVC	30-50+

Water Heater	
Tank water heater	10-15
Tankless water heater	15-20
In-boiler domestic coil	15-20

*Tankless water heaters generally require servicing every other year.*

Fixtures	
Builder's grade	15-20
Higher quality	
Faucet, fixture	30-50
Sink, toilet, tub	Lifetime

**ELECTRICAL**

Service entrance cable	25-40
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*Sheathing condition affected by exposure/sun.*

Circuit breaker/fuse panel	Lifetime
Wiring (modern Romex)	Lifetime
Wiring (armored/cloth)	60-80
Wiring (knob and tube)	75-90

*Affected by use, modifications, and adjacent activity.*

**APPLIANCES**

Refrigerator	15-20
Dishwasher	7-12
Range/cooktop	12-20
Garbage disposal	7-12
Microwave oven	7-12
Washer	7-12
Dryer	10-15

**INTERIOR**

Ceramic Tile	
Mud-set, cement board	Lifetime
Mastic (adhesive)	15-25
Plaster wall/ceiling	Lifetime
Drywall wall/ceiling	Lifetime

Flooring	
Wood (solid)	Lifetime
Wood (engineered)	50+
Laminate	15-25
Sheetgoods (linoleum)	10-15
Granite/marble	100+
Carpet	7-12

**WINDOWS**

Wood	50-80+
Vinyl	25+
Aluminum/steel	35-50+

*Functionality of wood and metal windows affected by regular maintenance. Quality of vinyl products varies substantially. Insulated glass likely will require replacement.*



*In three words, I can sum up everything I've learned about life: It goes on.*

- Robert Frost -

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